

2ND AMENDED SITE DEVELOPMENT PLAN

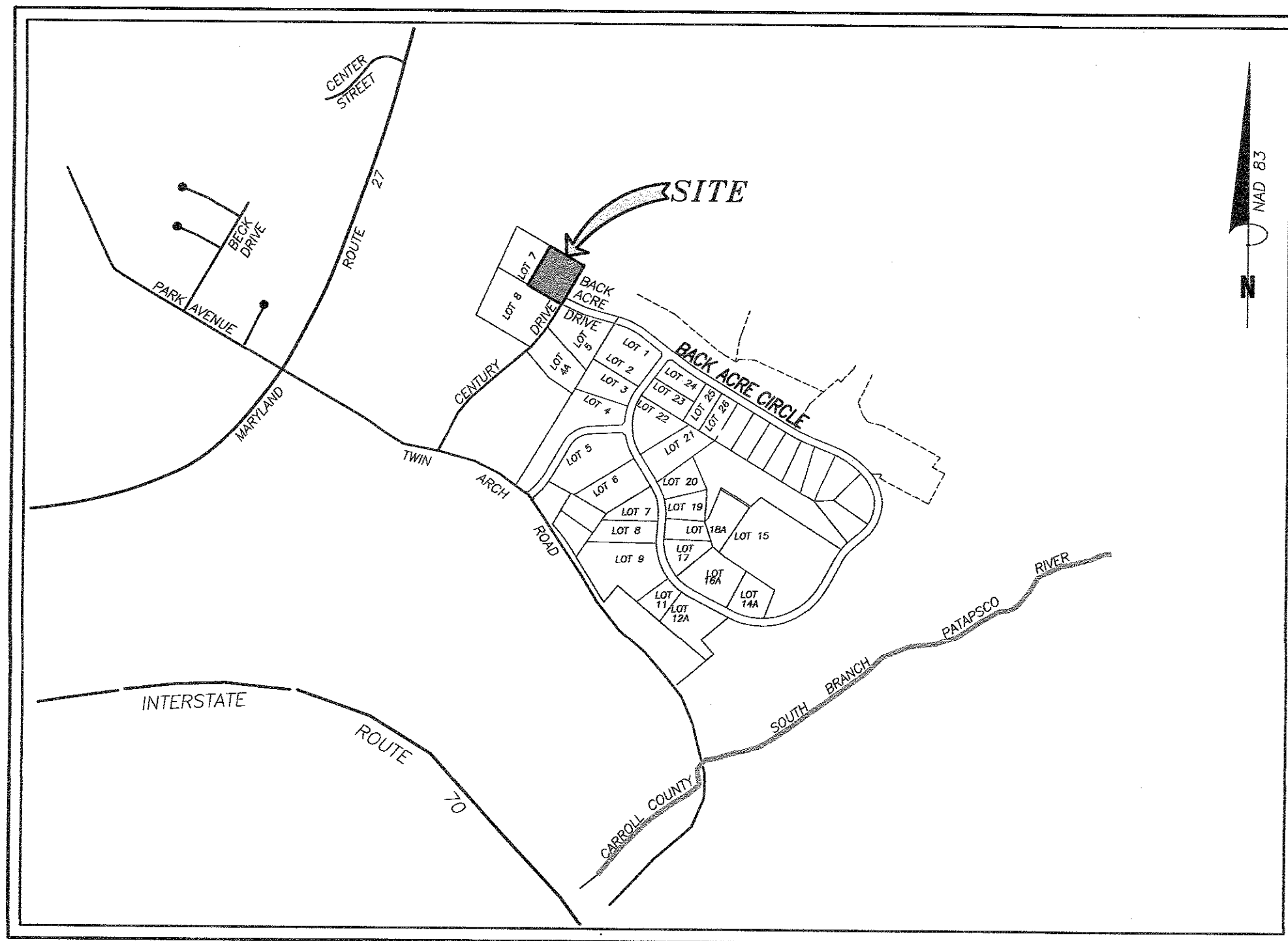
PHASE 2 - TWIN ARCH SELF STORAGE

TWIN ARCH INDUSTRIAL SUBDIVISION

LOT 7

94 CENTURY DRIVE, MOUNT AIRY, MD 21771
13TH ELECTION DISTRICT * CARROLL COUNTY, MD.

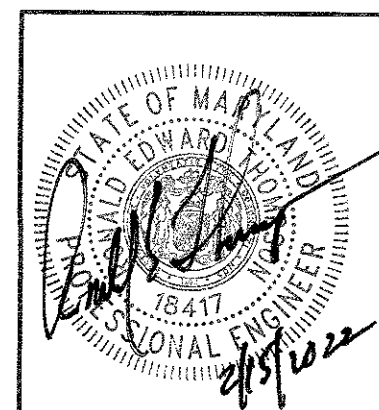
OWNER/DEVELOPER
REBCO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNT AIRY, MD 21771
(301) 829-9571



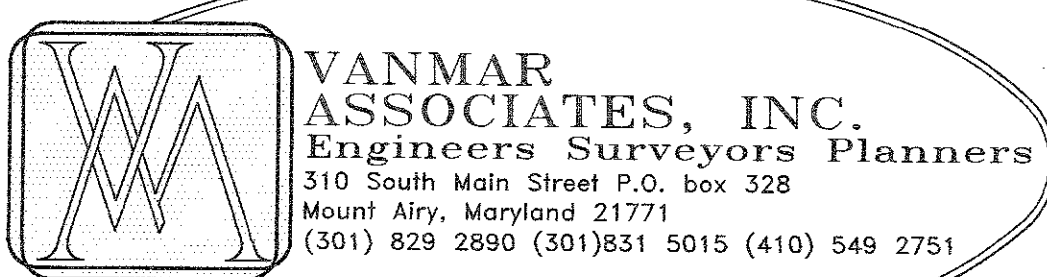
LOCATION MAP
SCALE: 1"=1000'

SITE DEVELOPMENT PLAN INSPECTION SEQUENCE NOTES

- THE CONTRACTOR SHALL NOTIFY AND SCHEDULE A PRECONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO THE START OF ANY CONSTRUCTION. PRECONSTRUCTION MEETING SHALL INCLUDE TOWN ENGINEER, TOWN INSPECTOR, CONTRACTOR AND DEVELOPER / OR CONSTRUCTION MANAGER.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROL.
- CONTRACTOR SHALL NOTIFY CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT, ENVIRONMENTAL INSPECTION SERVICES DIVISION AT 410-386-2210 PRIOR TO BEGINNING WORK. ALL FOREST CONSERVATION PLAN DEVICES MUST BE IN PLACE PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER, TOWN INSPECTOR, AND CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674, AT LEAST ONE DAY PRIOR TO BEGINNING ANY WORK REQUIRING SITE COMPLIANCE INSPECTIONS.
- SITE COMPLIANCE INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES DURING CONSTRUCTION.
 - 5.1 PROPOSED STRUCTURES STAKED OUT IN PROPER LOCATIONS AS SHOWN ON THESE APPROVED PLANS.
 - 5.2 PROPOSED FOUNDATIONS INSTALLED FOR ALL BUILDINGS SHOWN ON THESE APPROVED PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CARROLL COUNTY BUREAU OF PERMITS AND INSPECTIONS AT 410-386-2674 UPON COMPLETION OF EACH PHASE OF CONSTRUCTION.
 - 5.3 SUB-GRADES ESTABLISHED FOR ALL DRIVES, PARKING LOTS, AND SURROUNDING GRADING.
 - 5.4 COMPLETION OF ALL DRIVES, PARKING LOTS AND SURROUNDING GRADING.
 - 5.5 A "FORM" INSPECTION ON ALL ACCESSIBLE ROUTES/RAMP/CURB RAMPS SHALL BE COMPLETE BEFORE PLACEMENT OF FINAL MATERIAL.
 - 5.6 COMPLETION OF ALL DRIVES, PARKING LOTS AND SURROUNDING GRADING.
 - 5.7 COMPLETION OF ALL WORK SHOWN ON PLANS.
- FINAL LANDSCAPING INSPECTION SHALL BE ARRANGED BY NOTIFYING THE TOWN OF MOUNT AIRY AT (301) 829-1424. WRITTEN APPROVAL FROM THE TOWN MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE APPROVED PLANS.
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.



PROFESSIONAL CERTIFICATION	
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.	
DATE	REVISIONS
12/08/21	SWM COMMENTS
1/17/22	COUNTY COMMENTS
2/15/22	SWM COMMENTS



SITE DEVELOPMENT DATA

- THE PROPERTY SHOWN HEREON IS OWNED/DEVELOPED BY: REBCO DEVELOPMENT, LLC. RECORDED AMONG THE LAND RECORDS OF CARROLL COUNTY MD. IN L. 4540 F. 714 DATED 08/12/2005. TAX MAP 601, PARCEL 1293 PB 31 PAGE 190-192.
- EXISTING ZONING: INDUSTRIAL LOT
- EXISTING USE: VACANT
- PROPOSED USE: SELF STORAGE. NO STORAGE OF REGULATED SUBSTANCES IS PROPOSED BY THIS SITE.
- TOTAL AREA OF PROPERTY: 4.69 AC±
- PHASE 2 AREA: 2.219 AC/96,684 S.F.
- TOTAL DEVELOPED (IMPERVIOUS) AREA OF PHASE 2 AREA: 2.219 AC/96,684 S.F.
- PHASE 2 PARKING REQUIREMENTS:

TYPE OF USE	PARKING RATIO	GROSS SQUARE FEET	REQUIRED PARKING SPACES
SELF STORAGE/MINI WAREHOUSES	1.0 SPACES/ 1500 S.F.	46,772	31
TOTAL PARKING SPACES REQUIRED		46,772	31

- PHASE 2 PARKING PROVIDED: 31 SPACES
31 PARKING SPACES (INCLUDES 2 HANDICAP SPACES)
0 LOADING SPACES PROVIDED FOR SELF STORAGE (MINI WAREHOUSES)
- TRAFFIC GENERATION - MINIMIZED
AM PEAK HOUR = 0.20 / 1,000 S.F. = 0.20 X 46,772/1000 = 9 TRIPS
PM PEAK HOUR = 0.20 / 1,000 S.F. = 0.20 X 46,772/1000 = 9 TRIPS
- MINIMUM BUILDING RESTRICTION LINES
FRONT: 40' / SIDE: 15' / REAR: 50' SIGNAGE: 20' PARKING: 20'
* MODIFICATION TO SIDE YARD SETBACK APPROVED BY PLANNING COMMISSION AUGUST 2008.
- SITE IS SERVED BY PUBLIC WATER. THERE WILL BE NO SEWER CONNECTION TO THE PHASE 2 SELF STORAGE SITE.
EMPLOYEES = 0
ESTIMATED WATER FLOW = 0
ESTIMATED SEWER FLOW = 0
- SOIL CLASSIFICATION MAP NO. 51
- THE HORIZONTAL AND VERTICAL CONTROL IS BASED ON NAD-83-(91), AS PROJECTED BY C. C. MONUMENTS "WATKINS & WATKINS AZIMUTH". TOPOGRAPHY SHOW HEREON IS AERIAL BY HOVER SOLUTIONS DATED 7/2021. CONTROL INTERVAL IS 2 FEET, FIELD UPDATED BY VMA. APRIL 2021.
- NEAREST WATER SUPPLY IS ADJACENT TO SITE IN CENTURY DRIVE
- SITE PLAN INCLUDING ALL GRADING, STORMWATER MANAGEMENT, UTILITY, FOREST CONSERVATION, AND PARKING REQUIREMENTS HAVE BEEN DEVELOPED FOR THE PROPOSED BUILDINGS.
- A TEN-FOOT DRAINAGE EASEMENT IS HEREBY RESERVED ALONG ALL STREET FRONTAGE LOT LINES AND A SIX-FOOT DRAINAGE AND UTILITY EASEMENT ALONG ALL OTHER LOT LINES.

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT (SWM) ESDY TO MEP REQUIREMENTS WILL BE ADDRESSED BY USING (M-9) ENHANCED FILTERS (STORM GARDEN), CPV STORAGE BY USING SURFACE SAND FILTERS-11. STORMWATER MANAGEMENT IS IN ACCORDANCE WITH THE 2009 REVISIONS OF THE 2000 MARYLAND STORMWATER DESIGN MANUAL.

FOREST CONSERVATION

THIS SITE IS EXEMPT FROM THE FOREST RESOURCE ORDINANCE OF CARROLL COUNTY PER SECTION 150.21(B)(16); A PRELIMINARY PLAN OF SUBDIVISION WAS APPROVED PRIOR TO JULY 1, 1991.

WATER RESOURCE PROTECTION

THE PROPERTY IS LOCATED WITHIN AN AQUIFER PROTECTION AREA. THERE WILL BE NO SPILLAGE OF HAZARDOUS OR REGULATED SUBSTANCES TO THE GROUND WATER, STORMWATER MANAGEMENT SYSTEM OR DRAINAGE SYSTEM.

GENERAL NOTES

- ANY CHANGES TO THIS PLAN WILL REQUIRE AN AMENDED SITE DEVELOPMENT PLAN TO BE APPROVED BY THE TOWN OF MOUNT AIRY PLANNING COMMISSION.
- THIS SITE PLAN SHALL BECOME VOID EIGHTEEN MONTHS AFTER THE DATE OF APPROVAL IF NO BUILDING PERMIT OR ZONING CERTIFICATE HAS BEEN ISSUED FOR THIS PROJECT UNLESS AN EXTENSION OF THIS TIME LIMIT IS ISSUED BY THE PLANNING COMMISSION.
- PROPOSED LIGHTING TO BE PROVIDED AND ATTACHED TO THE PROPOSED STRUCTURE. LIGHTS TO BE SHIELDED SO AS TO PREVENT GLARE TO ADJACENT PROPERTIES, IN COMPLIANCE WITH THE TOWN LIGHTING ORDINANCE.
- HANDICAPPED PARKING SIGNS SHALL BE 7' FROM BOTTOM OF SIGN TO GROUND.
- CONTRACTOR SHALL CONFIRM THAT ALL UTILITIES ARE INSTALLED PRIOR TO PAVING AND PLACEMENT OF CONCRETE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 THREE (3) WORKING DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF THE UTILITIES. DEVELOPER SHALL BE BILLED FOR ANY MISS UTILITY CHARGES INCURRED BY THE TOWN RELATED TO THIS WORK.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL EXCAVATE TO VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF ANY UTILITIES (CONSTRUCTED AND EXISTING) AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE BEGINNING OF ALL WORK. EXCAVATION, GRADING, LANDSCAPING, ETC., MANHOLES, ETC., TO BE RAISED, LOWERED OR REMOVED, ARE TO BE DONE SO BY THE CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY UTILITY (WHETHER SHOWN OR NOT) DAMAGED DUE TO CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR REPLACING ANY EXISTING FENCES, DRIVEWAYS, ETC., DAMAGED OR REMOVED BY THE CONTRACTOR DURING CONSTRUCTION. ALL OFF-SITE DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- PLACEMENT OF ANY CONCRETE OR ASPHALT WORK SUCH AS CURB/CUTTER/SIDEWALKS/DRIVEWAY APRONS, ETC., SHALL BE COMMENCED ONLY AFTER THE INSTALLATION OF ALL UTILITIES INCLUDING GAS LINES/ELECTRICAL LINES/ STREET LIGHT CONDUITS/TELEVISION CABLE/WATER AND SEWER LINES, ETC. ARE IN PLACE.
- ALL EXISTING PAVING DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED IN ACCORDANCE WITH TOWN OF MOUNT AIRY STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF TRAFFIC ON EXISTING ROADS IN ACCORDANCE WITH MUTCD SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN PERMITS FROM THE TOWN OF MOUNT AIRY FOR ALL NECESSARY WORK NOT PERMITTED BY THE OWNER.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE "WORK" SHALL BE STOPPED IMMEDIATELY AND THE ENGINEER NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR THOSE CHANGES.
- DISCREPANCIES FOUND BETWEEN THESE PLANS AND WORK THAT WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION.
- AS-BUILT CONTRACT DOCUMENT SET MUST BE MAINTAINED ON SITE THROUGH THE PROJECT. THE AS-BUILT DRAWINGS SHALL SHOW CHANGES TO PUBLIC WATER OR SEWER LINES, PUBLIC STORM DRAINAGE SYSTEMS, SIDEWALKS AND STREETS THAT ARE MAINTAINED BY THE TOWN OF MOUNT AIRY. HORIZONTAL VARIATIONS GREATER THAN 1.0 FOOT AND 0.2 FEET FOR VERTICAL ELEVATIONS SHALL BE SHOWN ON THE PLANS. THE DEVELOPER SHALL SUBMIT ONE SET OF AS-BUILT MYLARS AND ONE SET OF AS-BUILT PRINTS TO THE TOWN WITHIN 90 DAYS OF PROJECT COMPLETION.

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CARROLL COUNTY FILE # S-21-0015

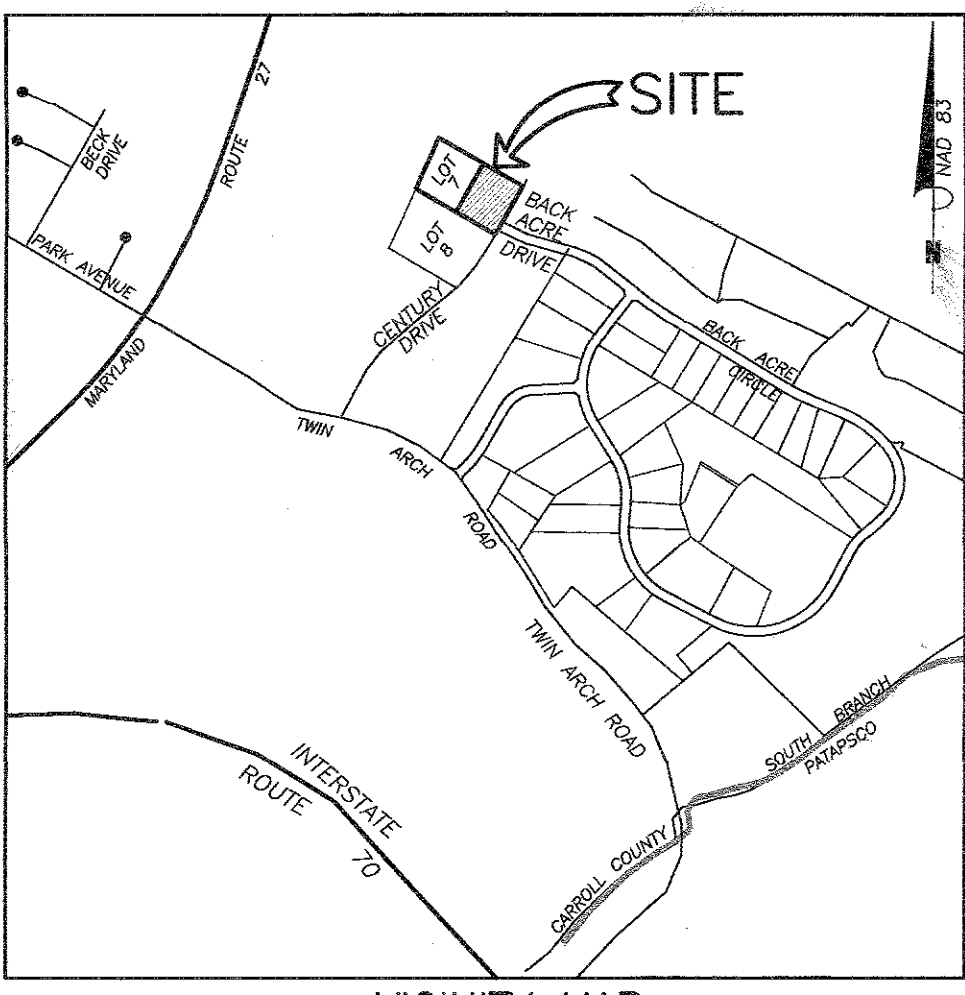
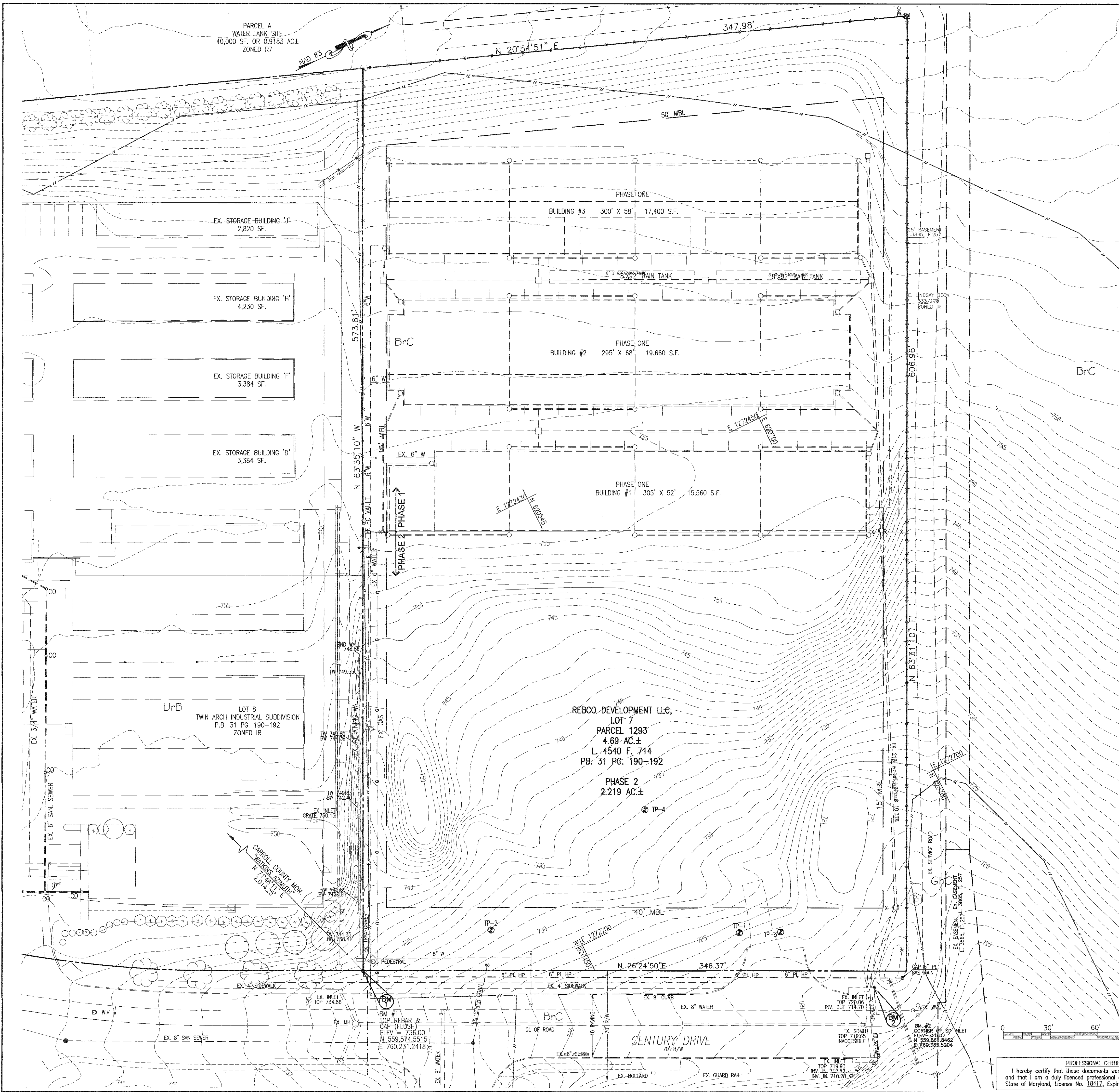
2ND AMENDED SITE DEVELOPMENT PLAN

TITLE SHEET

PHASE 2 - TWIN ARCH SELF STORAGE

TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT No. 13
CARROLL COUNTY, MARYLAND
SCALE: AS SHOWN AUGUST 2020



VICINITY MAP
SCALE: 1"=1200'

SOIL LEGEND				
MAP SYMBOL	MAPPING UNIT	HYDROLOGIC SOIL GROUP	HYDRIC COMPONENTS	SLOPE
BrC	BRINKLOW HANNERY LOAM	C	NO	8-15%
WEB SOIL SURVEY				

TEST PIT CERTIFICATION

I WAS ON SITE EITHER I OR PERSONNEL UNDER MY DIRECT SUPERVISION CONDUCTED THE FIELD INFILTRATION TESTING DESCRIBED IN THIS REPORT. I CERTIFY THAT THE TESTING MET THE REQUIREMENTS OF THE CURRENT CARROLL COUNTY SOILS TESTING POLICY TO CONFIRM CONSTRUCTIBILITY OF THE STORMWATER MANAGEMENT DESIGN.

[Signature] 2/19/2022
SIGNATURE OF REGISTERED PROFESSIONAL ENGINEER

18412
MARYLAND LICENSE NUMBER

STATE OF MARYLAND
EDWARD T. JOHNSON
PROFESSIONAL ENGINEER
18417

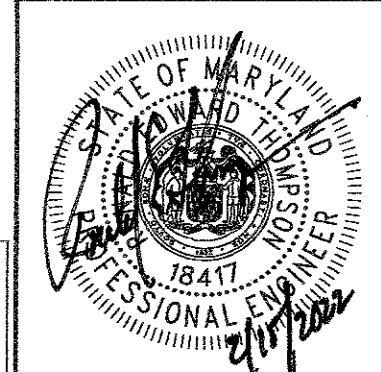
OWNER/DEVELOPER
REBCO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNT AIRY, MD 21771
(301) 829-9571

CARROLL COUNTY FILE # S-21-0015

EXISTING CONDITION PLAN
2ND AMENDED SITE DEVELOPMENT
PHASE 2 - TWIN ARCH SELF STORAGE
TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

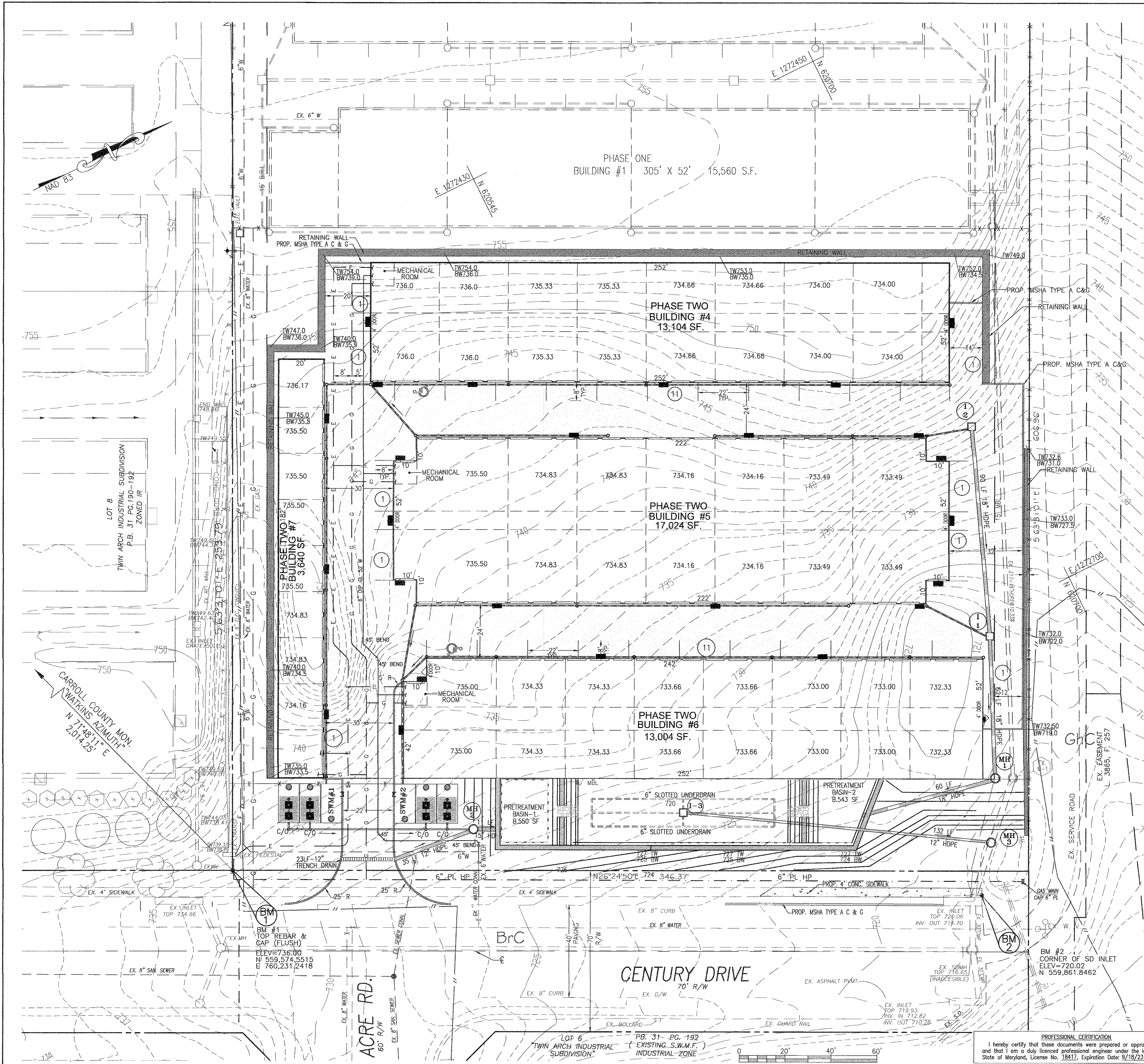
TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT No. 13
CARROLL COUNTY, MARYLAND
SCALE: 1"=30' AUGUST 2021

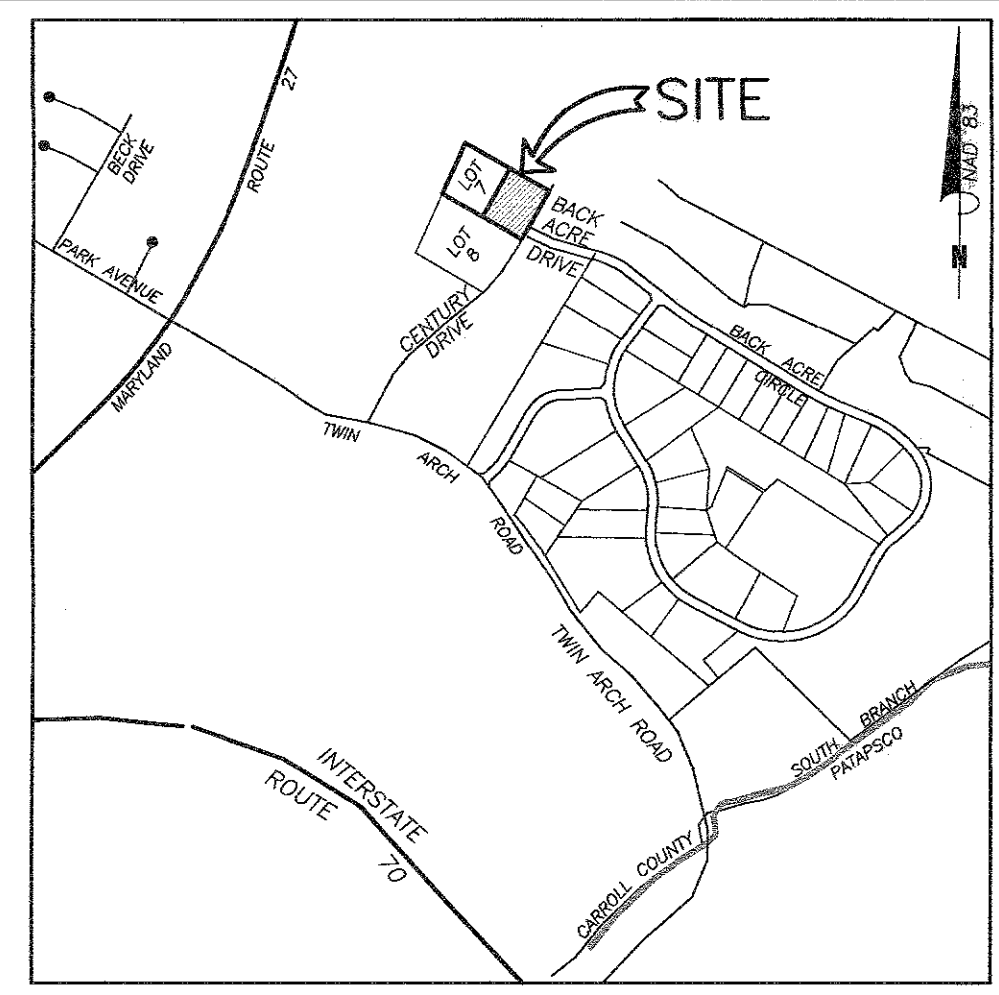
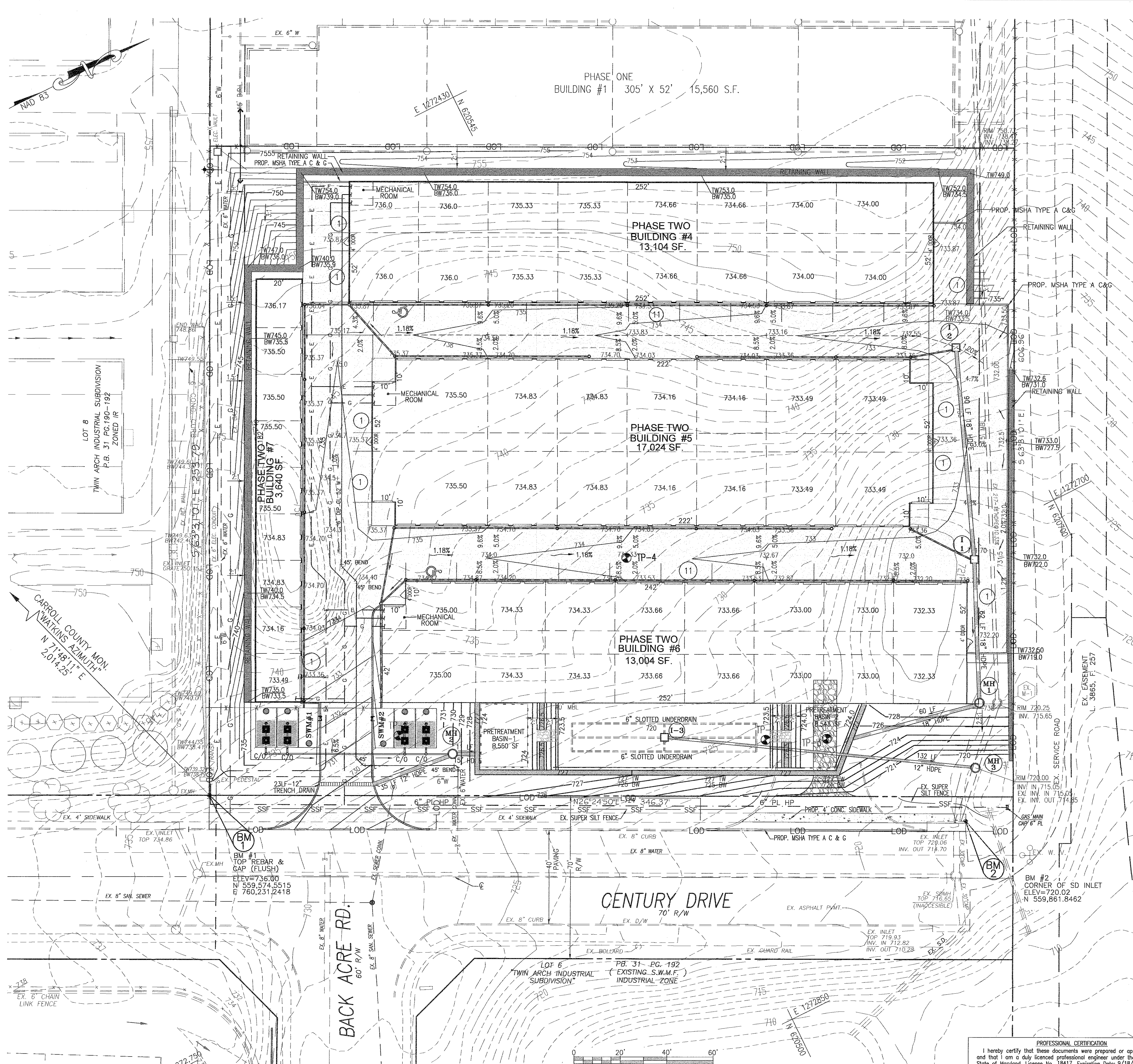
VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street P.O. Box 328 Mount Airy, Maryland 21771
(301) 829 2890 (301) 831 5015 (410) 549 2751



PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.





LEGEND

- 8'x8' OVERHEAD DOOR
- PROPOSED PAVING

OWNER/DEVELOPER
RECO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNT AIRY, MD 21771
(301) 829-9571

CARROLL COUNTY FILE # S-21-0015

STORMWATER MANAGEMENT, GRADING & SEDIMENT CONTROL PLAN

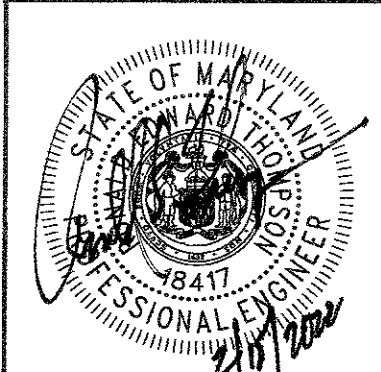
2ND AMENDED SITE DEVELOPMENT
PHASE 2 - TWIN ARCH SELF STORAGE
TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

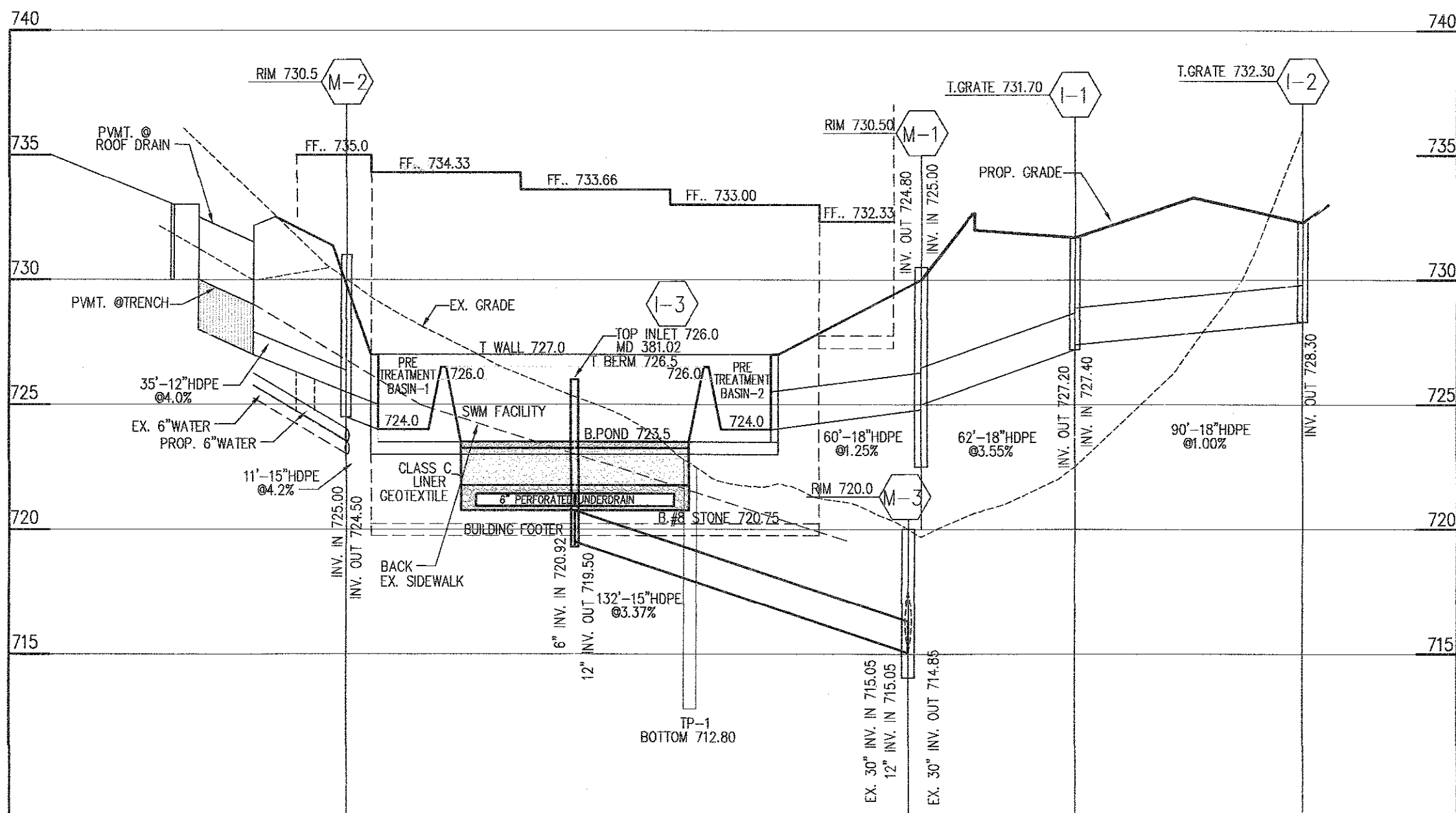
TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT No. 13
CARROLL COUNTY, MARYLAND
SCALE: 1"=20' AUGUST 2021

SHEET 4 OF 9

VANMAR ASSOCIATES, INC.
Engineers Surveyors Planners
310 South Main Street P.O. Box 328 Mount Airy, Maryland 21771
(301) 829-2890 (301) 831-5015 (410) 549-2751

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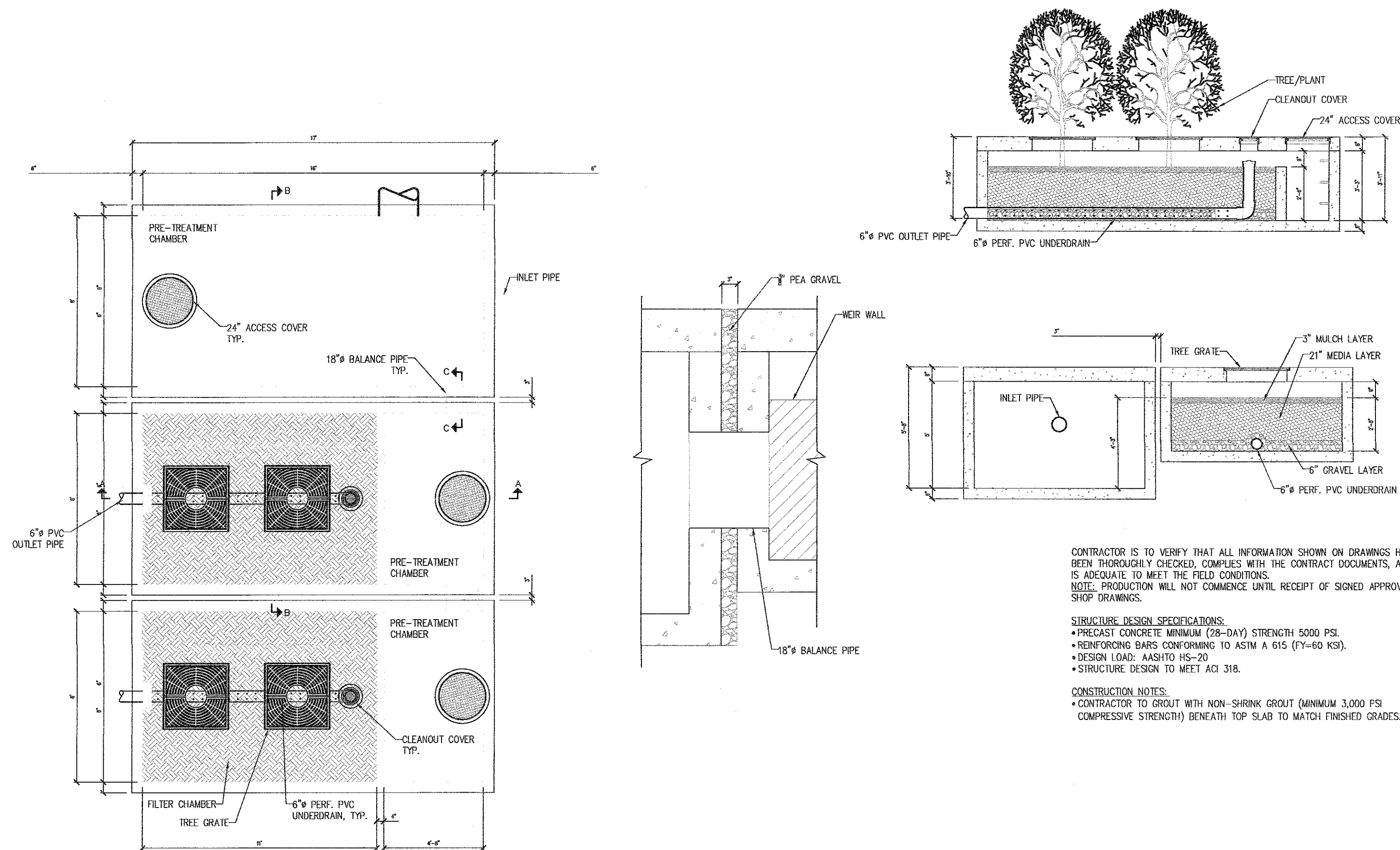
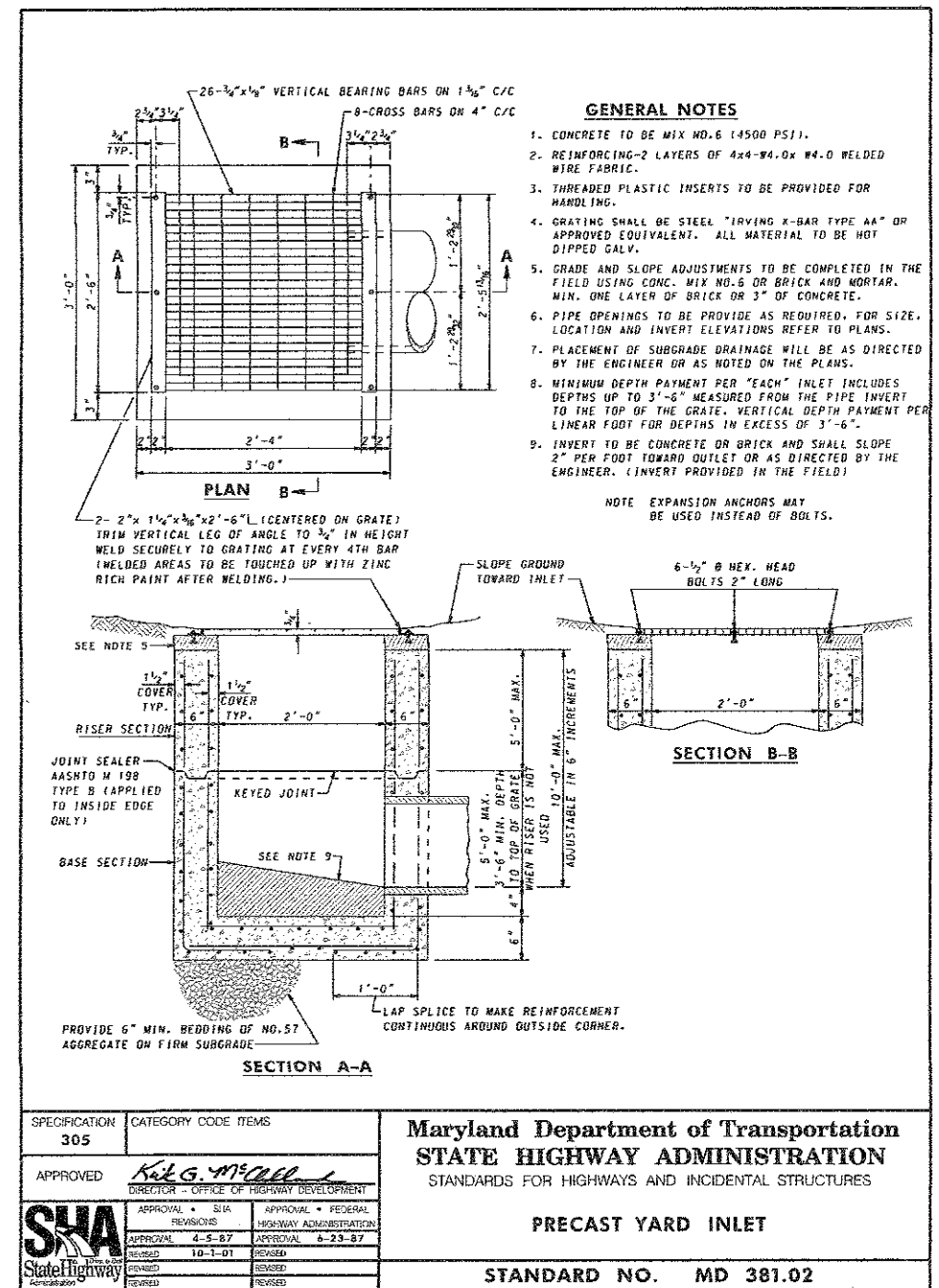
STORM DRAIN PROFILE
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

Lot 7 - Sand Filter Basin (CPV Storage)						
ELEVATION-STORAGE TABLE						
Elevation	Area (sf)	Avg. Area	Dist. (ft)	Volume (cf)	Cum. Vol.	Ac-ft
Forebay-1						
724.00	850.00			0.00	0.000	
725.00	605.00	577.50	1.00	577.50	578	0.013
726.00	660.00	632.50	1.00	632.50	1,210	0.028
726.50	686.00	673.00	0.50	336.50	1,547	0.036
Forebay-2						
724.00	543.00			0	0.000	
725.00	598.00	570.50	1.00	570.50	571	0.013
726.00	650.00	624.00	1.00	624.00	1,195	0.027
726.50	680.00	665.00	0.50	332.50	1,527	0.035
Sand Filter Pond Area						
723.50	2,488.00			0.00	0.000	
724.50	2,596.00	2,542.00	1.00	2,542.00	2,542	0.058
725.50	2,700.00	2,648.00	1.00	2,648.00	5,190	0.119
726.00	2,767.00	2,733.50	0.50	1,366.75	6,557	0.151
726.50	2,800.00	2,783.50	0.50	1,391.75	7,949	0.182
TOTAL @ 726.5 =					10,353	0.238

SWM Summary						
ESD # AND TYPE	DA (AC)	IA (AC)	%IA	Rv	Maximum	Provided
1-M-9 Storm-Garden#1	0.459	0.459	100.00	0.95	3958	2910
2-M-9 Storm-Garden#2	0.459	0.459	100.00	0.95	3958	2,910
Total ESDv Provided						5,820
ESDv Required						5,817
Where:						
ESDv =	5,820	R ²				
Pe =	1.00	inch				
Rv =	0.70					
A (Site Area) =				2.30 AC		

LOT 7 - SAND FILTER BASIN									
ELEVATION-DISCHARGE TABLE - JANUARY 2022									
Water Surface Elevation	6" UNDERDRAIN		Total Q		Overflow Inlet Structure (2.0' x 2.0')		15" HDPE OUTLET PIPE		Storage (Ac-ft)
	H1	Q1	Through Pipe	Precast Yard Inlet (Weir)	H2	Q2	H3	Q3	
720.92	0.00	0.00					Inv (719.5)	5.27	0.0000
721.42	0.25	0.12	0.12				1.29	6.73	0.0001
721.75	0.58	0.12	0.12				1.63	7.53	0.0000
723.25	2.08	0.13	0.13				3.13	10.45	0.0000
723.50	2.33	0.14	0.14				3.38	10.86	0.0000
724.00	2.83	0.15	0.15				3.88	11.63	0.0058
725.00	3.83	0.16	0.16				4.88	13.05	0.119
726.00	4.83	0.17	0.17	0.00	0		5.88	14.32	0.151
726.50	5.33	0.18	0.18	0.50	7.353910524		6.38	14.92	0.182
727.00	5.83	0.190	0.19	1.00	20.8		6.88	15.50	0.238
Sand Filter Discharge Rate = 1.75/hr			Q=CLH ^{1.5} C= 2.6 L= 8 Q=20.8H ^{1.5}		Q=CA ² sqrt(2gh) A= 1.2265 Q=5.91sqrt(h)				

E. Compute Storage (Cp.) Provided (RCN=83)			
Pre Treatment Basin-1 (CF)	Pre Treatment Basin-2 (CF)	Sand Filter Basin (CF)	Total Volume (CF)
1210	1194.5	7948.5	10353



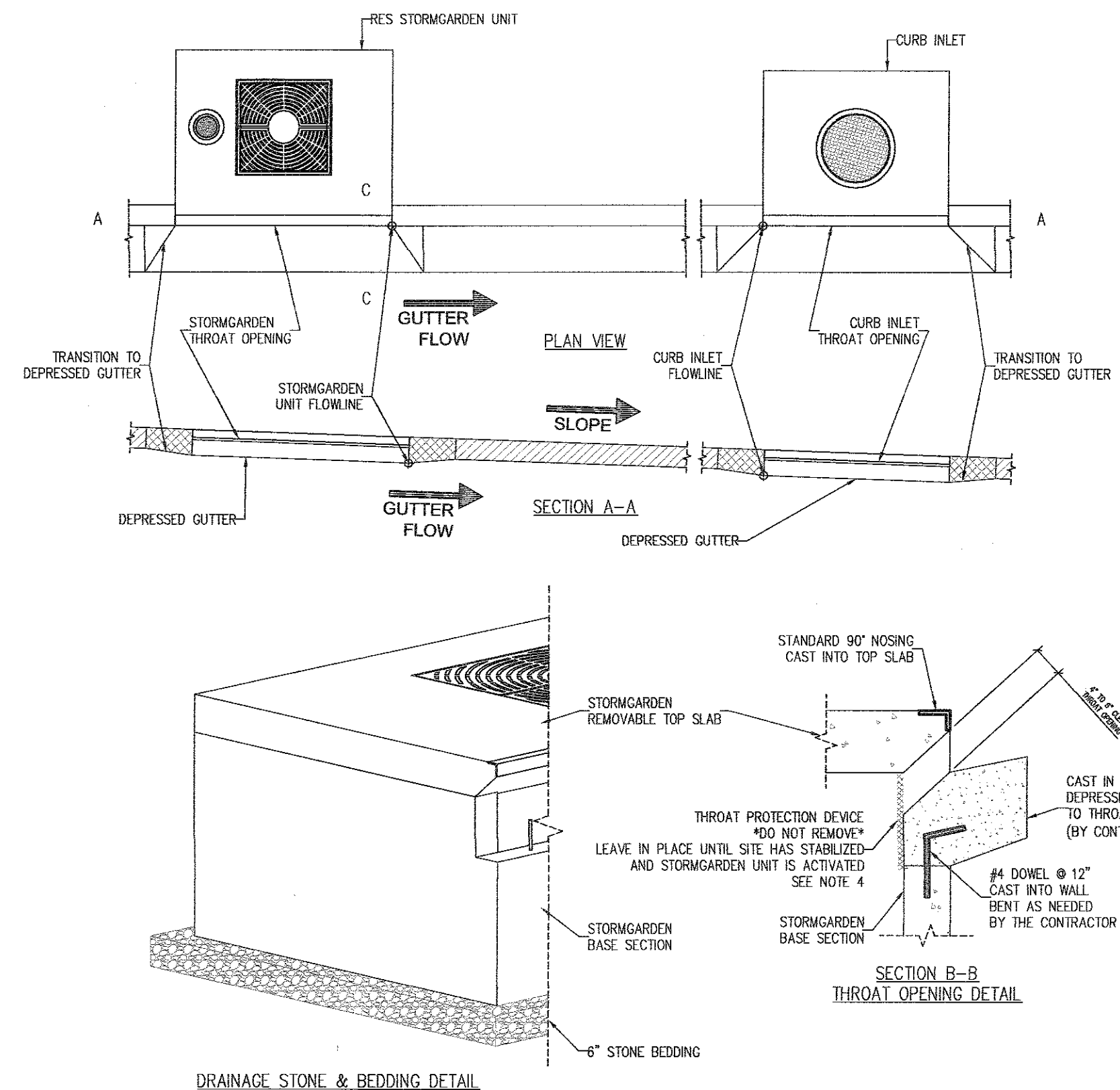
CONTRACTOR IS TO VERIFY THAT ALL INFORMATION SHOWN ON DRAWINGS HAS BEEN THOROUGHLY CHECKED, COMPLIES WITH THE CONTRACT DOCUMENTS, AND IS ADEQUATE TO MEET THE FIELD CONDITIONS.
NOTE: PRODUCTION WILL NOT COMMENCE UNTIL RECEIPT OF SIGNED APPROVED SHOP DRAWINGS.

STRUCTURE DESIGN SPECIFICATIONS:

- PRECAST CONCRETE MINIMUM (28-DAY) STRENGTH 5000 PSI.
- REINFORCING BARS CONFORMING TO ASTM A 615 (FY=60 KSI).
- DESIGN LOAD: AASHTO HS-20
- STRUCTURE DESIGN TO MEET ACI 318.

CONSTRUCTION NOTES:

- CONTRACTOR TO GROUT WITH NON-SHRINK GROUT (MINIMUM 3,000 PSI COMPRESSIVE STRENGTH) BENEATH TOP SLAB TO MATCH FINISHED GRADES.



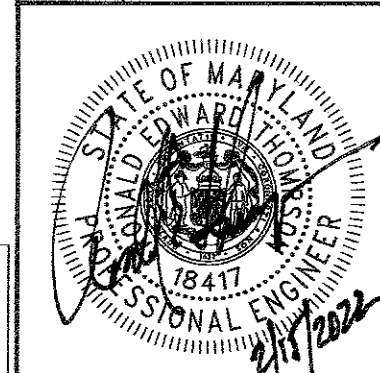
CONSTRUCTION & INSTALLATION

- DO NOT PLACE IN A SUMP CONDITION. THE STORMGARDEN SYSTEM CANNOT BE USED AS A STANDALONE INLET AND THEREFORE WILL NEED AN EFFECTIVE BYPASS DURING HIGHER INTENSITY RAINFALL EVENTS. REFER TO ATTACHED DETAIL FOR GRADING & GUTTER FLOW DETAILS. TO TEST A PROPOSED LOCATION, IMAGINE THE STORMGARDEN THROAT IS COMPLETELY BLOCKED (SO IT WOULD NOT LIKE A TYPICAL CURB AND GUTTER). IF THIS RESULTS IN ANY FLOODING OR POOLING OF DRAINAGE, THE PLACEMENT IS INAPPROPRIATE. IF THE DRAINAGE CONTINUES TO FLOW BY THE BLOCKED STORMGARDEN THROAT TO THE BYPASS INLET (OR OTHER RELIEF) WITHOUT ANY FLOODING OR POOLING, THE PLACEMENT IS APPROPRIATE.
- EACH UNIT SHALL BE CONSTRUCTED AT THE LOCATIONS AND ELEVATIONS ACCORDING TO THE SIZES SHOWN ON THE APPROVED DRAWINGS. ANY MODIFICATIONS TO THE ELEVATION OR LOCATION SHALL BE AT THE DIRECTION OF AND APPROVED BY THE ENGINEER.
- THE UNIT SHALL BE PLACED ON THE COMPACTED SUB-GRADE WITH A MINIMUM 6-INCH GRAVEL BASE MATCHING THE FINAL GRADE OF THE CURB LINE IN THE AREA OF THE UNIT. THE UNIT IS TO BE PLACED SUCH THAT THE UNIT AND TOP SLAB MATCH THE GRADE OF THE CURB IN THE AREA OF THE UNIT. COMPACT UNDISTURBED SUB-GRADE MATERIALS TO SOIL OF MAXIMUM DENSITY AT +1% TO 2% OF THE OPTIMUM MOISTURE. INSULATABLE MATERIAL BELOW SUB-GRADE SHALL BE REPLACED TO SITE ENGINEER'S APPROVAL. CONTACT ROTONDO ENVIRONMENTAL SOLUTIONS, LLC FOR GUIDANCE WHERE SLOPE EXCEEDS 5%.
- ONCE THE UNIT IS SET, THE INTERNAL WOODEN FORMS AND PROTECTIVE SILT FABRIC COVER MUST BE LEFT INTACT. THE TOP LID SHOULD BE SEALED ONTO THE BOX SECTION BEFORE BACKFILLING, USING A NON-SHRINK GROUT, BUTYL RUBBER OR SIMILAR WATERPROOF SEAL. THE BOARDS ON THE TOP OF THE LID AND BOARDS SEALED IN THE UNIT'S THROAT MUST NOT BE REMOVED. IN ORDER TO PREVENT FLOW FROM ENTERING THE DEVICE PRIOR TO ACTIVATION, THE THROAT PROTECTION DEVICE SHALL BLOCK THE ENTIRE EXTENTS OF THE CURB THROAT OPENING. THE ROTONDO ENVIRONMENTAL SOLUTIONS, LLC WILL REMOVE THESE SECTIONS AT THE TIME OF ACTIVATION.
- OUTLET CONNECTIONS SHALL BE ALLOWED AND SEALED TO MEET THE APPROVED DRAWINGS WITH MODIFICATIONS NECESSARY TO MEET SITE CONDITIONS AND LOCAL REGULATIONS. THE CORRECT OUTLET WILL BE MARKED ON THE STORMGARDEN BOX. DO NOT USE PLUGGED COUPLERS MARKED "USE OTHER CONNECTION".
- BACKFILLING SHOULD BE PERFORMED IN A CAREFUL MANNER, BRINGING THE APPROPRIATE FILL MATERIAL UP IN 6" LIFTS ON ALL SIDES. PRECAST SECTIONS SHALL BE SET IN A MANNER THAT WILL RESULT IN A WATER-TIGHT JOINT. IN ALL INSTANCES, INSTALLATION OF THE STORMGARDEN UNIT SHALL CONFORM TO ASTM SPECIFICATION C891 STANDARD PRACTICE. FOR INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES, UNLESS SPECIFIED OTHERWISE IN CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CURB AND GUTTER AND TRANSITION TO THE STORMGARDEN UNIT FOR PROPER STORMWATER FLOW INTO THE SYSTEM THROUGH THE THROAT OPENING (SEE ATTACHED DETAILS). HOWEVER, THE PLANS AND CONTRACT DOCUMENTS SUPERSEDE ALL STANDARD DRAWINGS. EFFECTIVE BYPASS FOR THE STORMGARDEN SYSTEM IS ESSENTIAL FOR CORRECT OPERATION (I.E. BYPASS TO AN OVERFLOW AT LOWER ELEVATION).
- EACH STORMGARDEN UNIT MUST RECEIVE ADEQUATE IRRIGATION TO ENSURE SURVIVAL OF THE LIVING SYSTEM DURING PERIODS OF DRYER WEATHER. THIS MAY BE ACHIEVED THROUGH A PIPED SYSTEM, GUTTER FLOW OR THROUGH THE TREE GRATE.

BIO-POD UNIT MATERIALS SPECIFICATION			
MATERIALS	SPECIFICATIONS	SIZE	NOTES
BIO-MEDIA	RES BIO-MEDIA	-	140 IN/HR INFILTRATION RATE
MULCH	SHREDDED HARDWOOD	-	AGED 6-MONTHS
UNDERDRAIN STONE	WASHED PEA GRAVEL	#78 OR #8	-
UNDERDRAIN PIPING	-	4" TO 6" RIGID SCHEDULE-40 OR SDR-35	8" PERIF. @ 6" ON CENTER, 4 HOLES PER ROW

OWNER/DEVELOPER
REBCO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNTAIN AIRY, MD 21771
(301) 829-9571

DATE	REVISIONS



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.

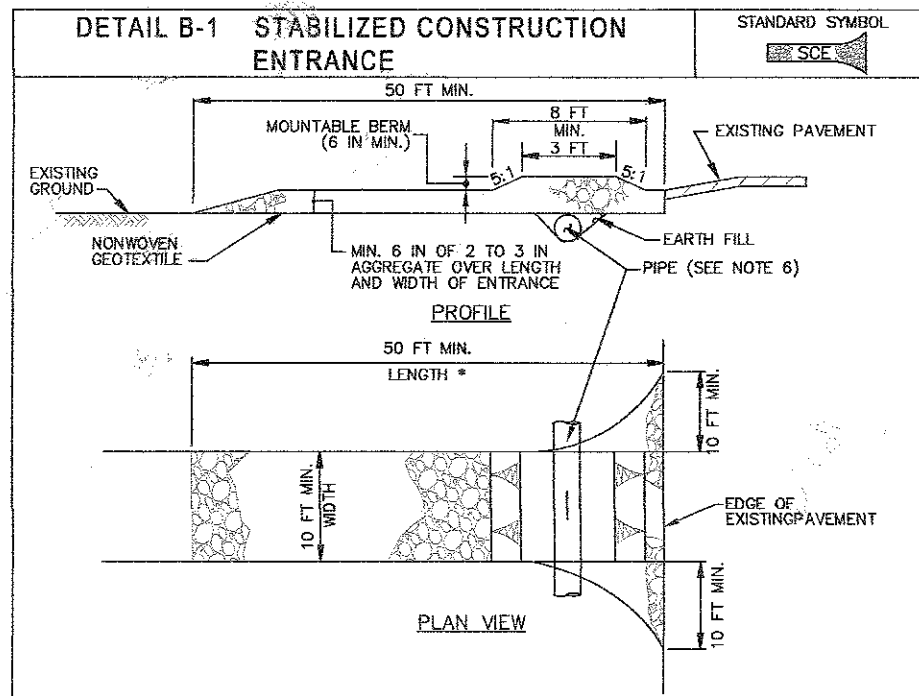
CARROLL COUNTY FILE # S-21-0015

STORMWATER MANAGEMENT/STORM DRAINAGE DETAILS
2ND AMENDED SITE DEVELOPMENT
PHASE 2 - TWIN ARCH SELF STORAGE
TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT NO. 13
CARROLL COUNTY, MARYLAND
SCALE: AUGUST 2021



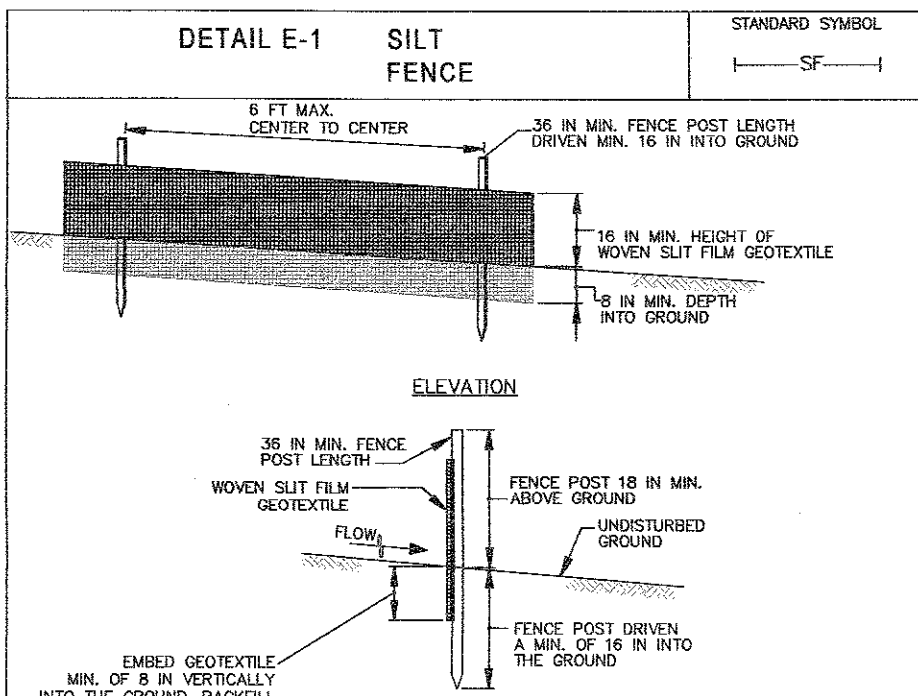
VANMAR ASSOCIATES, INC.
Engineers, Surveyors, Planners
310 South Main Street, P.O. Box 528 Mount Airy, Maryland 21771
(301) 829-2850 (301) 851-5015 (410) 849-2751



CONSTRUCTION SPECIFICATIONS

1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE PASSING) AND USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROVIDE PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 2:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFICATION APPROVED. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND. MAINTAIN CLEAN SURFACE. REMOVE BERM, AND/OR SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCOPING, AND/OR SHEETING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

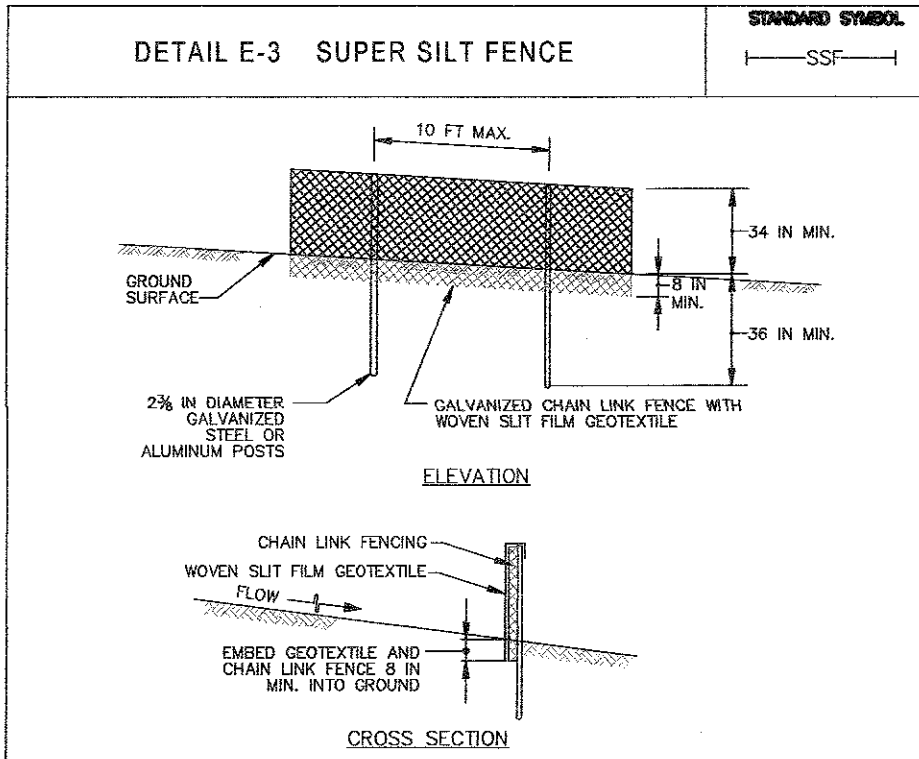
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



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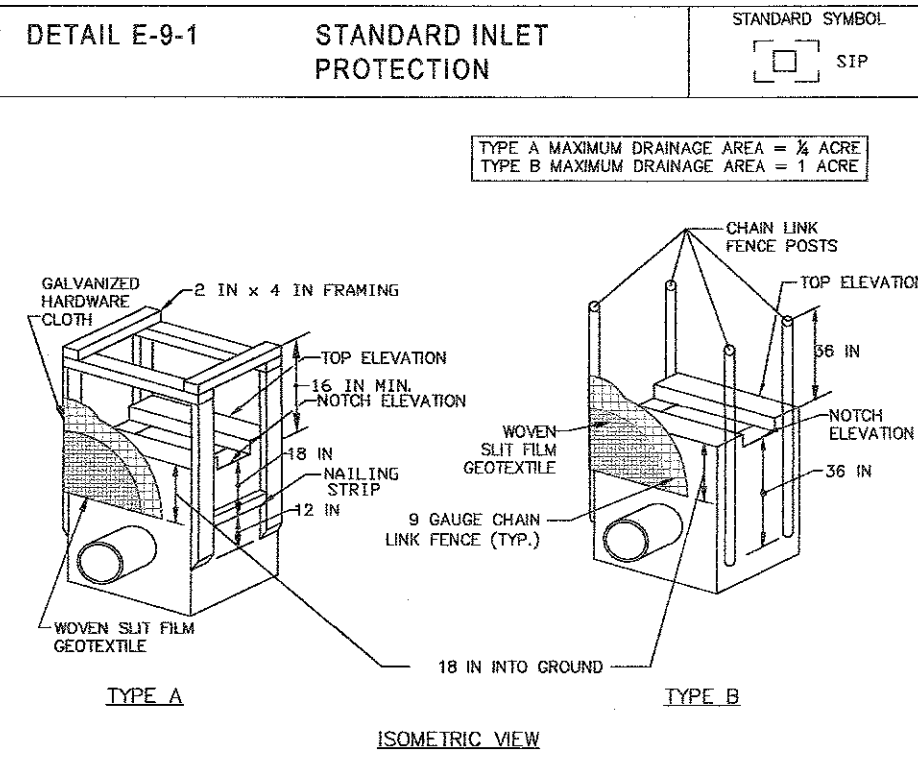
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

1. INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
3. FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSIDE SIDE OF CHAIN LINK FENCE WITH WIRE STRAP EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 6 INCHES INTO THE GROUND.
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MARK FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES FORM OR IN PLACES OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEDIMENT AND EROSION CONTROL NOTES

1. All erosion/sediment control measures shall comply with the "Maryland Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of the Environment, Water Management Administration in cooperation with the Natural Resources Conservation Service and the Maryland Association of Soil Conservation Districts (referenced as the 2011 Standards and Specs).
2. Areas that have been cleared and/or graded, but will not be constructed on or permanently vegetated for more than 5 days (3 days for sediment control measures and for steep slopes) must be stabilized with mulch or temporary stabilization. Any areas that are in temporary vegetation for over 6 months will need to be permanently vegetated.
3. For specifications on permanent or temporary stabilization, see B-4-4 and B-4-5.
4. Mulching only is restricted to use on disturbed areas as a temporary cover where vegetation is not feasible or where seeding germination cannot be completed because of weather conditions. For specifications see B-4-3, A.1-B.
5. For specifications on the stabilization of cut and fill slopes steeper than 3 horizontal to 1 vertical, see Incremental Stabilization B-4-1.
6. The existing topsoil from an on- or off-site that is used must meet the minimum specification in B-4-2.
7. The required sequence of construction must be followed during site development. Any changes in the sequence of construction must be approved by the Soil Conservation District.
8. Any revisions to the sediment control plan, not covered under the list of plan modifications that can be approved by the sediment control inspector, need to be submitted to the Soil Conservation District for approval.
9. No proposed slope that is required to be seeded and/or mulched shall be steeper than 2:1. Slopes steeper than 2:1 shall require an engineered design for stabilization.
10. All sediment control structures will be inspected once a week and after each rainfall and will be repaired, as needed, so that the structure meets the minimum specifications as shown in the 2011 Standards and Specs.
11. The contractor is responsible for maintaining all sediment and erosion control measures until the disturbed areas are permanently stabilized.
12. The district approval for this sediment control plan is good for 2 years. At the end of 2 years, if construction of the plan has not started, the plan will need to be resubmitted to the Soil Conservation District for review and re-approval. Any plans that are currently under construction after 2 years may be required to be resubmitted to the Soil Conservation District by the sediment control inspector.

DUST CONTROL

DUST CONTROL METHOD FOR THIS SITE TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES: CALCIUM CHLORIDE SHALL BE APPLIED TO EXPOSED SURFACES AT A RATE THAT WILL KEEP SURFACE MOIST UNTIL SOIL IS STABILIZED ACCORDING TO VEGETATIVE SPECS. FOR THIS SITE AND AREAS TO BE PAVED ARE COMPLETED.

STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

TEMPORARY STOCKPILE NOTE

SITE EARTHWORK HAS BEEN BALANCED SUCH THAT A TEMPORARY STOCKPILE SHOULD NOT BE NECESSARY. SHOULD CONTRACTOR DECIDE TO USE A STOCKPILE, CONTRACTOR SHALL PLACE STOCKPILE ON SUITABLE AREA OF THE SITE AND FOLLOW TEMPORARY STABILIZATION NOTES.

UTILITY NOTE FOR SECONDARY UTILITY WORK

- A. ALL DISTURBANCES FROM SECONDARY UTILITY'S SUCH AS PHONE CABLE, ELECTRIC CABLE, T.V. CABLE, ETC., WILL BE SUBCONTRACTORS RESPONSIBILITY TO BRING WORK AREA BACK TO GRADE LEVEL THAT WAS EXISTING AND MULCH ANY DISTURBANCE FROM INSTALLATION OF LINES OR CONDUIT.
- B. SUB CONTRACTORS WILL BE RESPONSIBLE FOR RE-INSTALLING OR REPAIRING ANY SILT FENCE OR SEDIMENT CONTROLS THAT WERE EXISTING TO MAINTAIN PROPER SEDIMENT CONTROL THAT MIGHT HAVE BEEN DAMAGED.

FOR UTILITY WORK ONLY OR FOR OFF-SITE UTILITY WORK

1. CAN NOT EXCEED 5,000 SQUARE FEET
2. PLACE ALL EXCAVATED MATERIAL ON HIGH SIDE OF TRENCH.
3. ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACKFILLING FINAL GRADING, SEEDING AND MULCHING CAN OCCUR.
4. ANY SEDIMENT CONTROL MEASURES DISTURBED BY CONSTRUCTION WILL BE REPAIRED THE SAME DAY.

DISTURBED AREA QUANTITY

TOTAL SITE AREA IS 2.219± AC.
THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 96,684± S.F. AND THE TOTAL AMOUNT OF EXCAVATION AND FILL SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 1,000 C.Y. OF EXCAVATION AND APPROXIMATELY 1,000 C.Y. OF FILL.

SIGNED: *Carl S. Thompson* DATE: 2/17/2022
RONALD E. THOMPSON
NOTE: EARTHWORK CUT AND FILL QUANTITIES AND AREA OF DISTURBANCE INDICATED ON THIS PLAN ARE SHOWN FOR PURPOSE OF OBTAINING SEDIMENT CONTROL PLAN APPROVAL AND ARE NOT TO BE USED FOR CONTRACTUAL OBLIGATION.

VEGETATIVE SPECIFICATIONS AND NOTES

1. DISTURB AS SMALL AN AREA OF THE PRESENT COVER AS POSSIBLE WHILE PERFORMING GRADING.
2. ESTABLISH PERMANENT VEGETATIVE COVER IMMEDIATELY AFTER FINAL GRADING IS COMPLETED. (THIS INCLUDES ANY GRADING ON OR OFF THIS SITE THAT IS AFFECTED BY THIS CONSTRUCTION.) IF FINAL GRADING IS COMPLETED AT A TIME OTHER THAN THE SEEDING SEASON, A TEMPORARY GROUND COVER SUCH AS MULCHING WILL BE USED TO STABILIZE THE BARE SOIL.
3. RECOMMENDED TEMPORARY SEED MIXTURE:
SEED: BALBOA RYE AT 150 LBS. PER ACRE
LIME: 2 TONS GROUND LIMESTONE PER ACRE
FERTILIZER: 10-10-10 AT 1,000 LBS. PER ACRE
MULCH: STRAW AT 1.5 TONS PER ACRE
ASPHALT: SS-1 OR EQUIVALENT AT 200 GAL. PER ACRE
4. RECOMMENDED PERMANENT SEED MIXTURE:
SEED: KY-31 FESCUE AT 80 LBS. PER ACRE
LIME: 2 TONS GROUND LIMESTONE PER ACRE
FERTILIZER: 10-10-10 AT 1,000 LBS. PER ACRE
MULCH: STRAW AT 1.5 TONS PER ACRE
ASPHALT: SS-1 OR EQUIVALENT AT 200 GAL. PER ACRE

STOCKPILE NOTES:

1. NO STOCKPILING ALLOWED ON ASPHALT.
2. ALL STOCKPILES LEFT AT THE END OF THE NEXT DAY NEED TO BE STABILIZED UNTIL THE NEXT REDISTRIBUTION.

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 6 Months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 436 lb. per acre (10 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (90 lb. per sq. ft.) and shall meet the requirements in section B-4-2 and B-4-4.

Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c and will be applied along with the seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B.1 (page B.20).

Temporary Seeding Summary The seeding chart below will need to be placed on and filled in on the sediment control plan

Hardness Zone (from Figure B.3): _____ Seed Mixture (from Table B.1): _____					Fertilizer Rate (10–20–20)	Lime Rate
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths		
					436 lb/ac (10 lb/1000 sq ft)	2 tons/ac (90 lb/1000 sq ft)

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

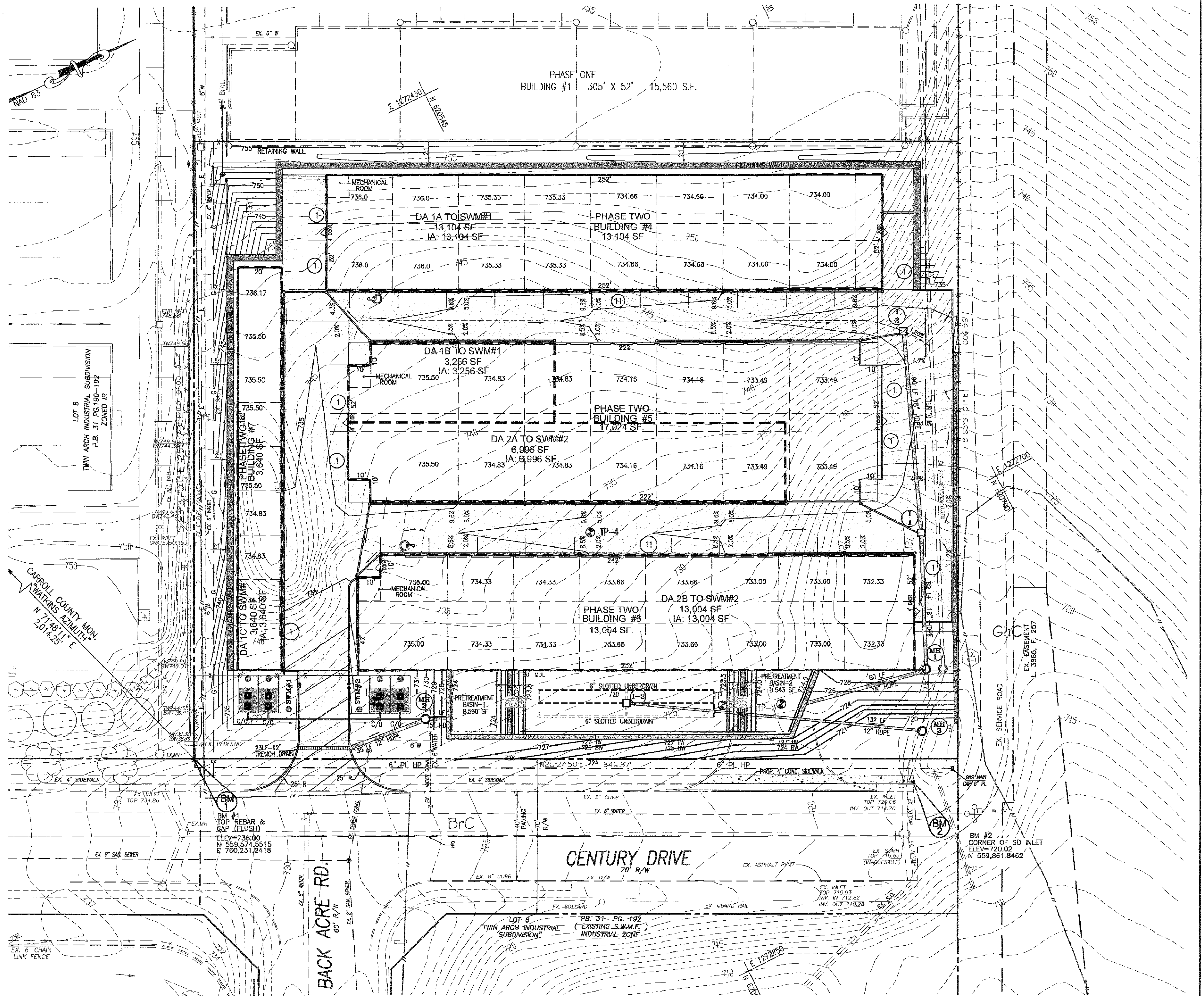
For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soils tests.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates: N = 45 lb. per acre (1 lb. per 1000 sq.ft.) P205 = 90 lb. per acre (2 lb. per 1000 sq.ft.) K2O = 90 lb. per acre (2 lb. per 1000 sq.ft.) Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq.ft.)

Seed type, turfgrass or sod application shall meet the requirements in section B-4-5. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Mulch type and its application will meet the requirements in section B-4-3 a, b and c, and will be applied along with the seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B-3. The seeding chart below will need to be placed on and filled in on the sediment control plan

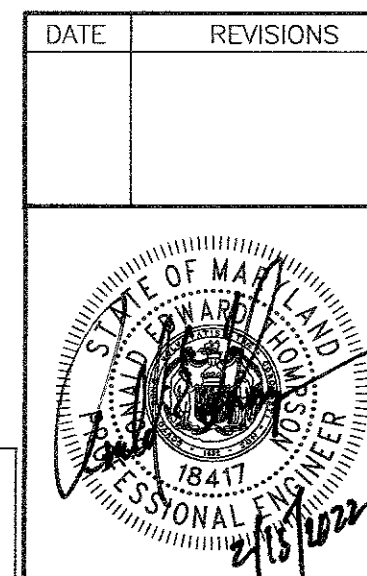
Hardness Zone (from Figure B.3): _____ Seed Mixture (from Table B.3): _____					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths	N	P2O5	K2O	
				1/4-1/2 in	45 pounds per acre	90 lb/acre (2 lb/1000 sf)	90 lb/acre (90 lb/1000 sf)	2 tons/acre (90 lb/1000 sf)
				1/4-1/2 in	(1.0 lb per 1000 sf)			
				1/4-1/2 in				



SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED GRADING, MDE PERMITS, APPROVALS AND LICENSES FROM APPROPRIATE AGENCIES.
2. NOTIFY SEDIMENT CONTROL INSPECTOR (410) 386-2210 AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING WORK.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT CONTROL PROTECTION.
4. UPON COMPLETION OF ALL SEDIMENT CONTROL MEASURES, SECURE PERMISSION FROM INSPECTOR BEFORE PROCEEDING. CONTRACTOR SHALL HAVE THE OPTION TO PROCEED WITH THE GRADING OPERATION PRIOR TO HAVING ALL SEDIMENT CONTROL MEASURES FOR THE SITE IN PLACE PROVIDED APPROVAL IS OBTAINED FROM THE INSPECTOR FOR THE AREAS WHERE SEDIMENT CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
5. STABILIZE ALL THE GRADED AREAS UP TO 20' OUTSIDE OF THE LIMIT OF GRADING AS PER PERMANENT SEEDING NOTES. IN AREAS OF FILL WITH SLOPES, CONTRACTOR SHALL BE PREPARED TO APPLY POLYACRYLAMIDES (PAM) TO THE SLOPES PRIOR TO RAIN EVENTS. SUCH APPLICATION SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S TECHNICAL SPECIFICATIONS FOR PAM. CONTRACTOR SHALL PRIOR TO THE START OF FILL OPERATIONS, HAVE COMPLETED SOIL SAMPLING OF FILL MATERIAL TO DETERMINE PAM AND SEED MIXTURE.
6. COMPLETE SITE GRADING AFTER INSTALLATION OF STORM DRAINS, SANITARY SEWER AND WATER UTILITIES.
7. SIMULTANEOUS WITH SITE GRADING, CONSTRUCT BUILDING AND CONSTRUCTION THROUGH INITIAL BITUMINOUS PAVING COURSE. CONTRACTOR SHALL FOLLOW PLANS TO PROVIDE INLET PROTECTION UNTIL FINAL GRADING AND STABILIZATION OF SURROUNDING EMBANKMENTS/ FILL AREAS.
8. UPON COMPLETION OF CURB & GUTTER AND INITIAL PAVEMENT BASE COURSE, CONSTRUCT BIO SWALES PER BIO SWALE SEQUENCE OF CONSTRUCTION, GRASS SWALE, AND MICRO BIO RETENTION BASIN.
9. COMPLETE FINAL SITE PAVING AND COMPLETE ANY FINE GRADING OF THE SITE THAT IS REQUIRED.
10. UPON COMPLETION OF CONSTRUCTION AND STABILIZATION OF DISTURBED AREAS AND APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES, FILL ALL DISTURBED AREAS AND STABILIZE AREAS IN ACCORDANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
11. NOTIFY TOWN OF MOUNT AIRY FOR FINAL INSPECTION OF COMPLETED PROJECT.

OWNER/DEVELOPER
REBCO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNT AIRY, MD 21771
(301) 829-9571



PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9/18/23.

CARROLL COUNTY FILE # S-21-0015

SEDIMENT CONTROL NOTES & DETAILS AND DRAINAGE AREA MAPS

2ND AMENDED SITE DEVELOPMENT

PHASE 2 - TWIN ARCH SELF STORAGE

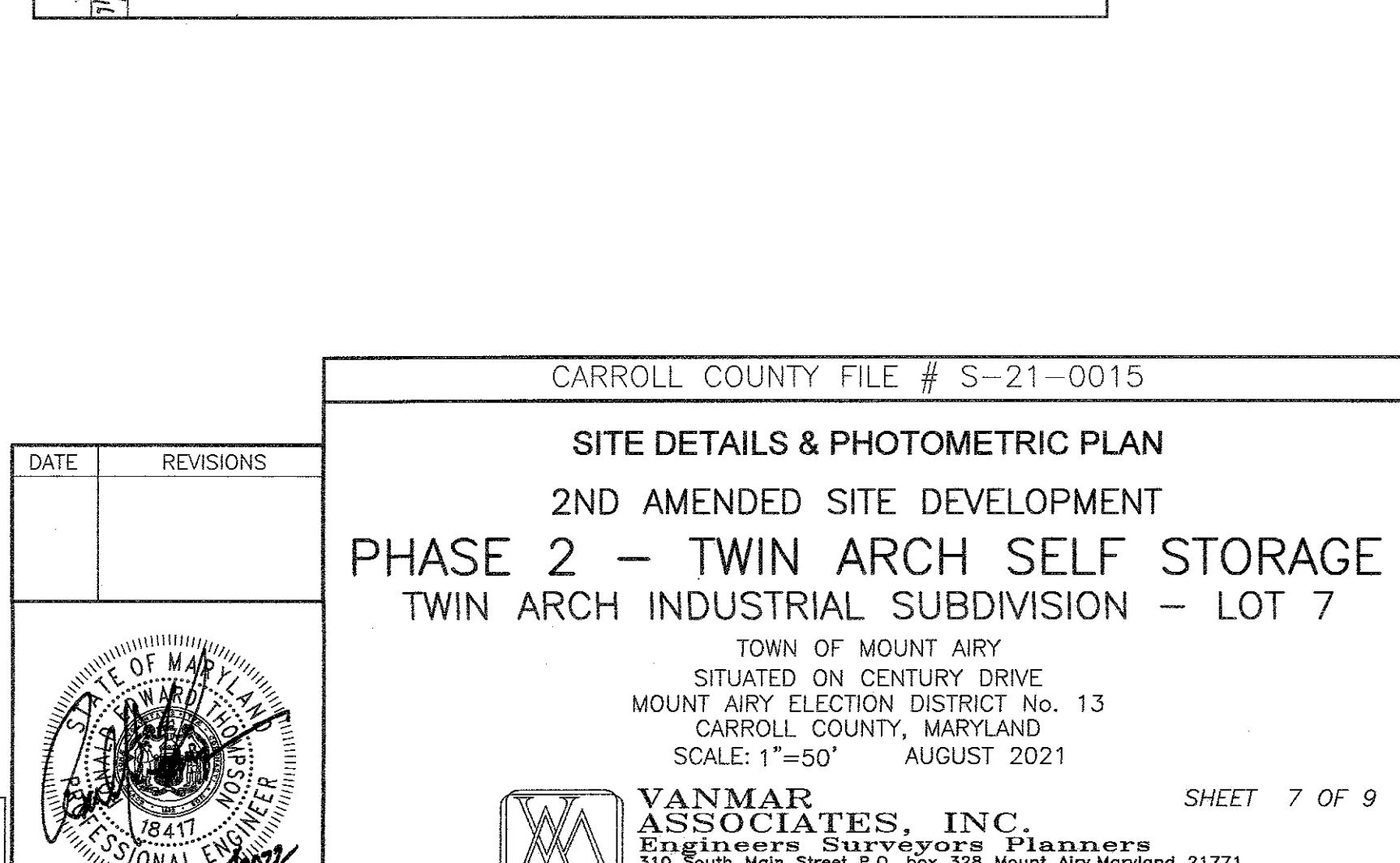
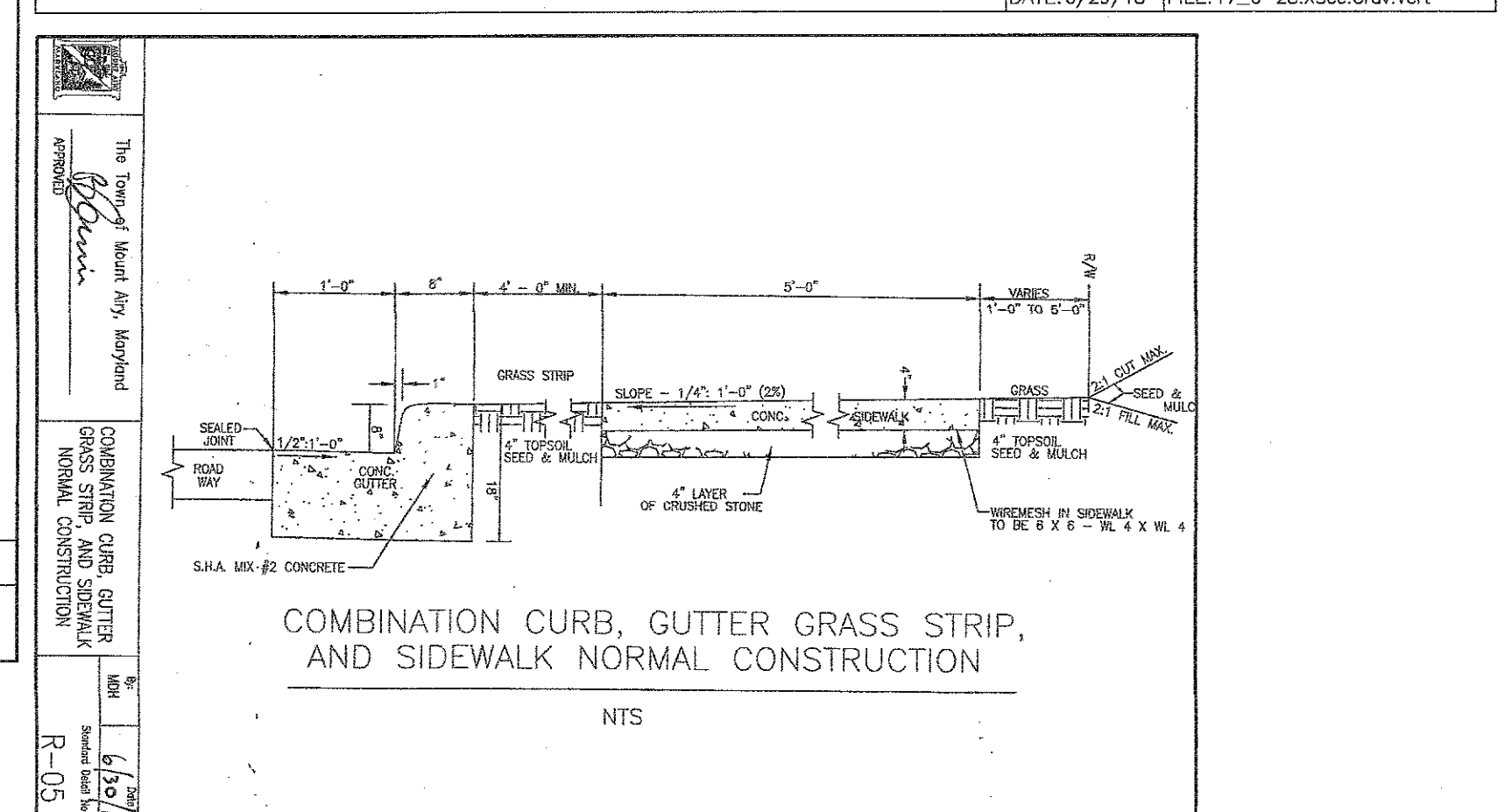
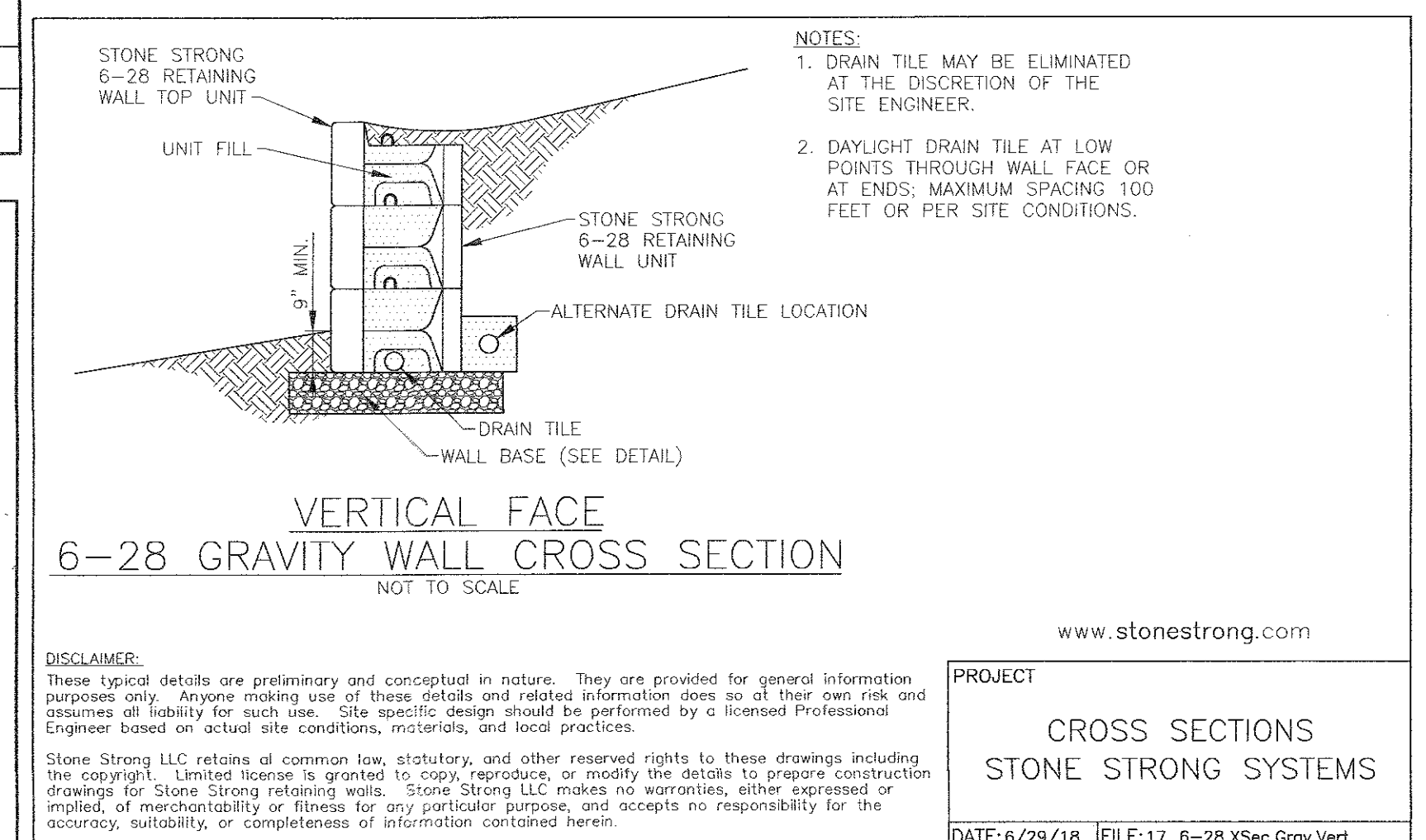
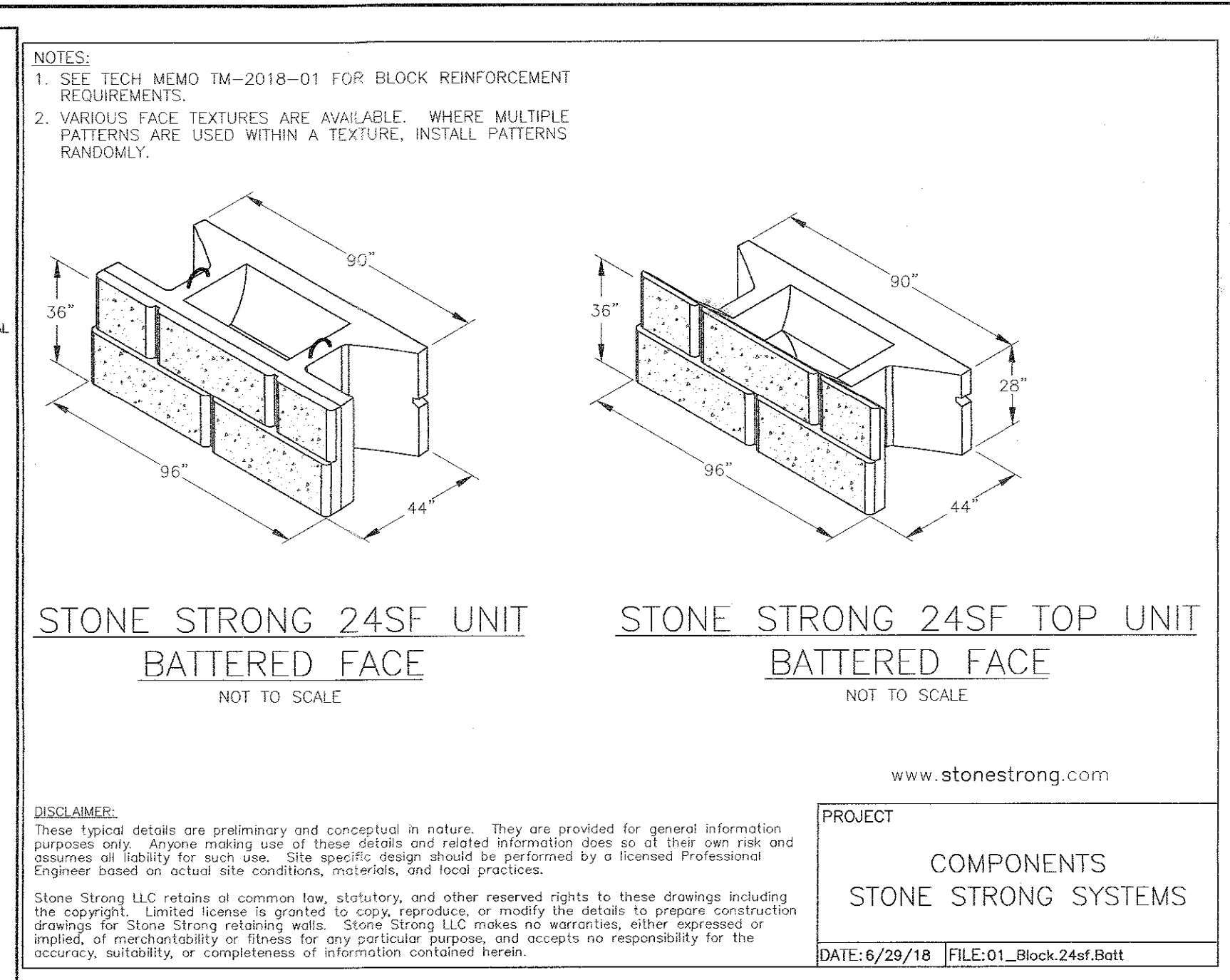
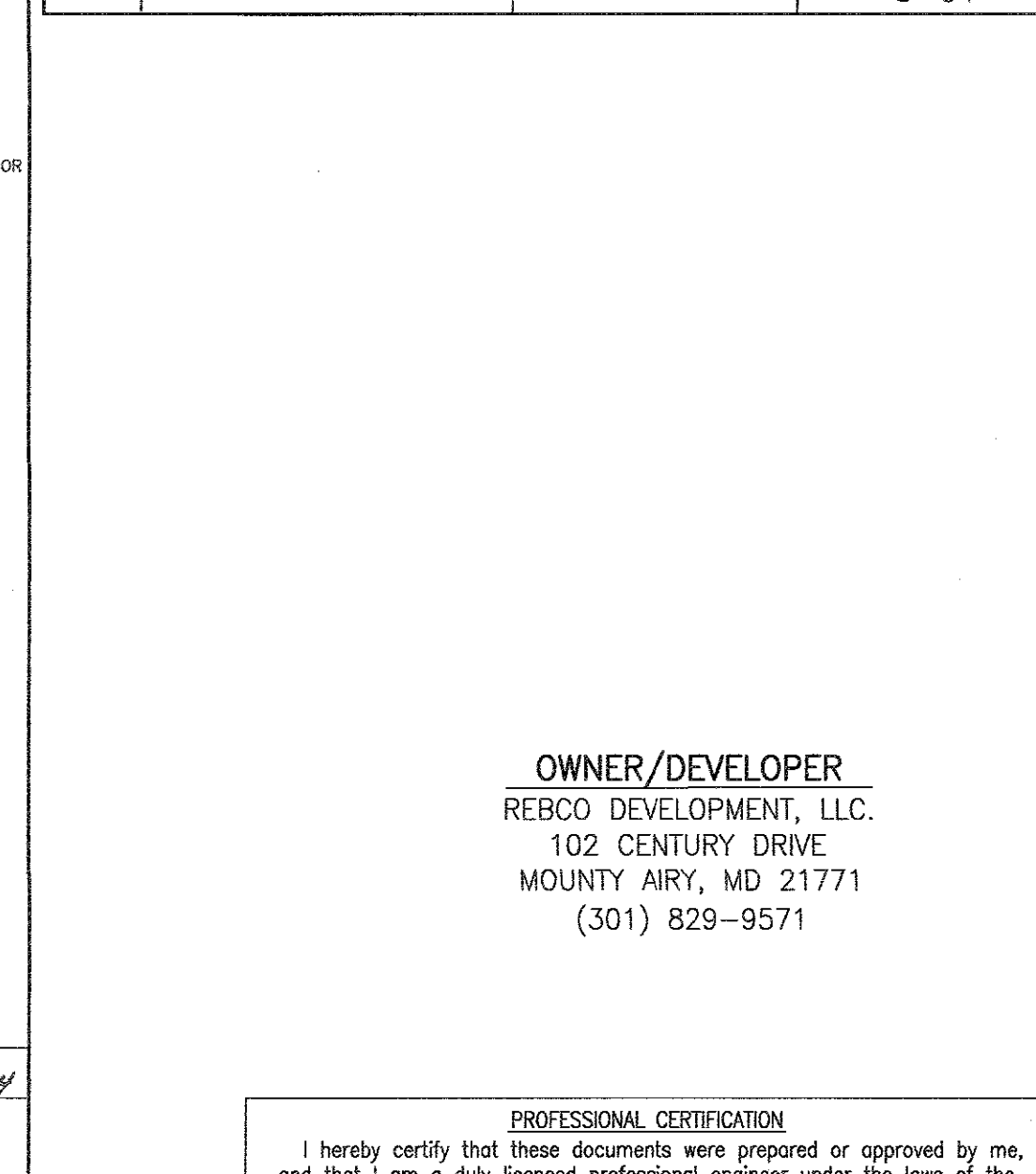
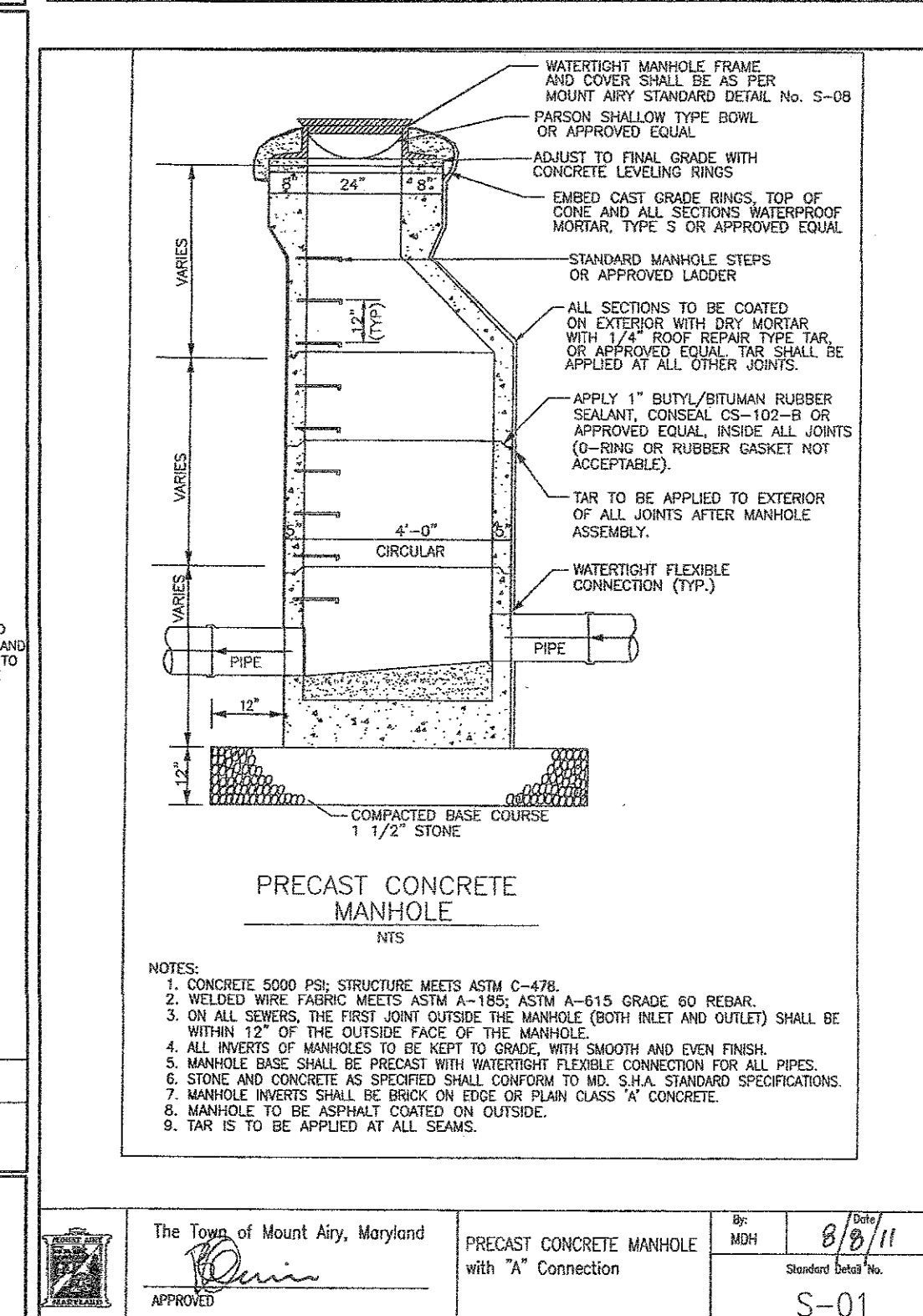
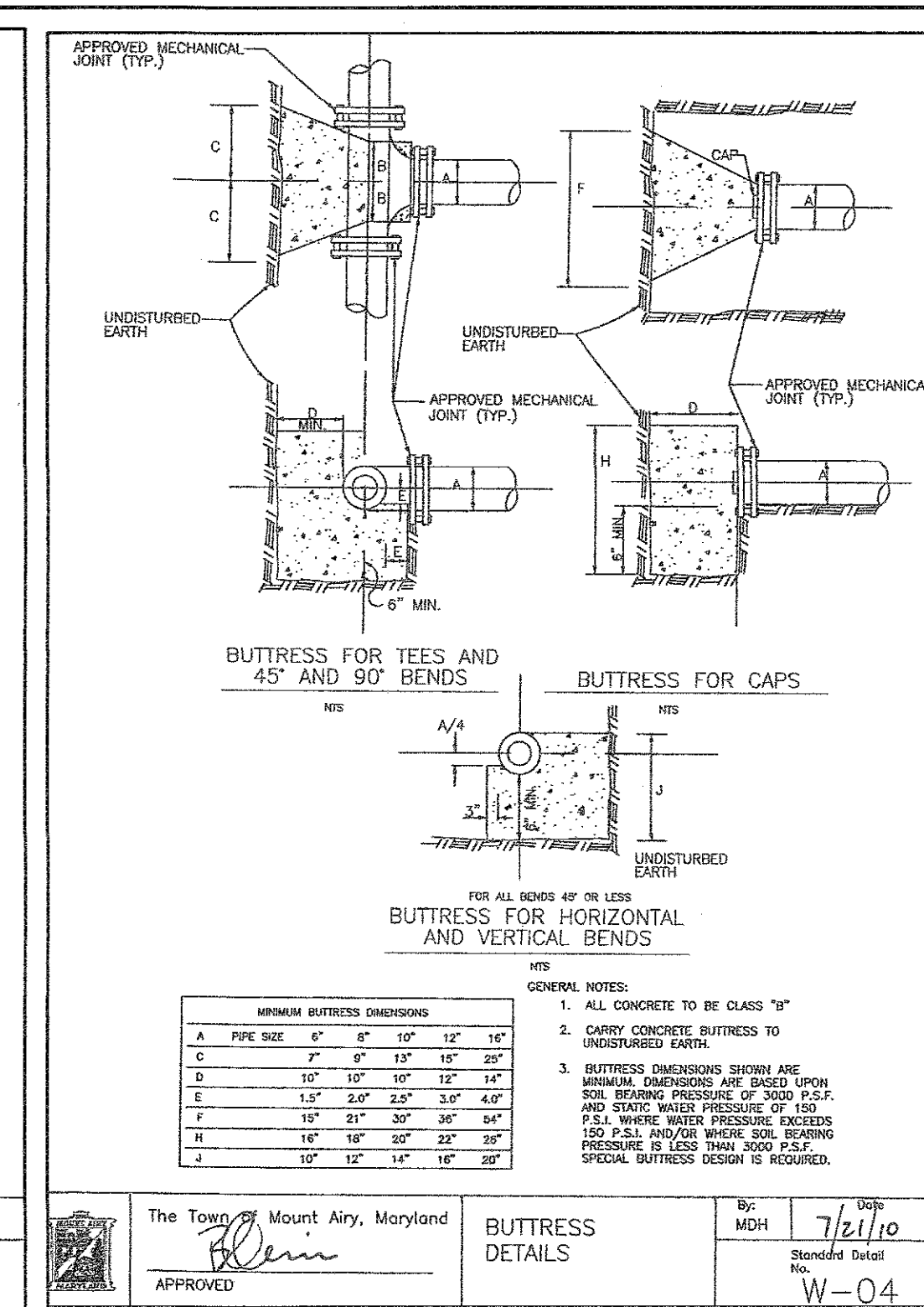
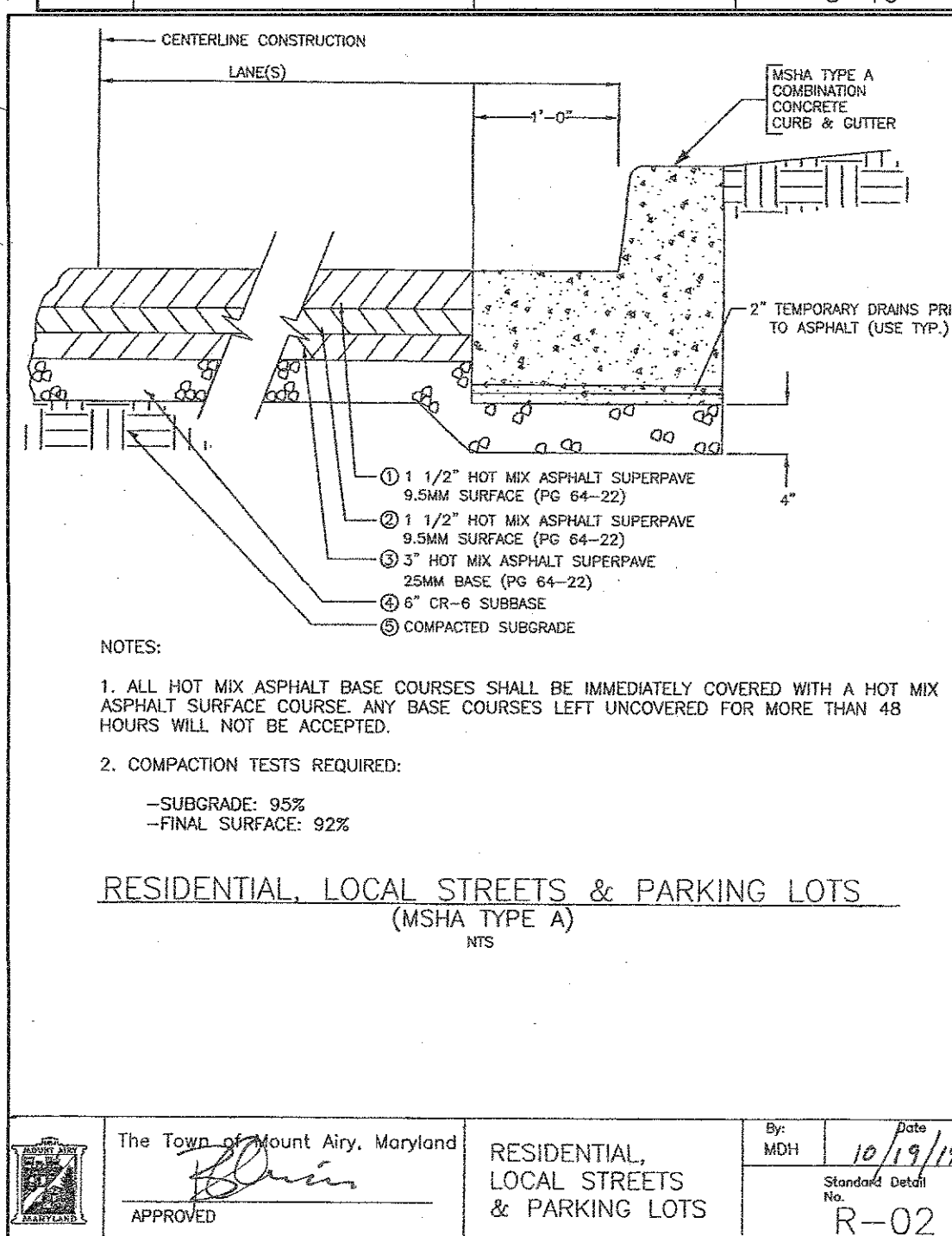
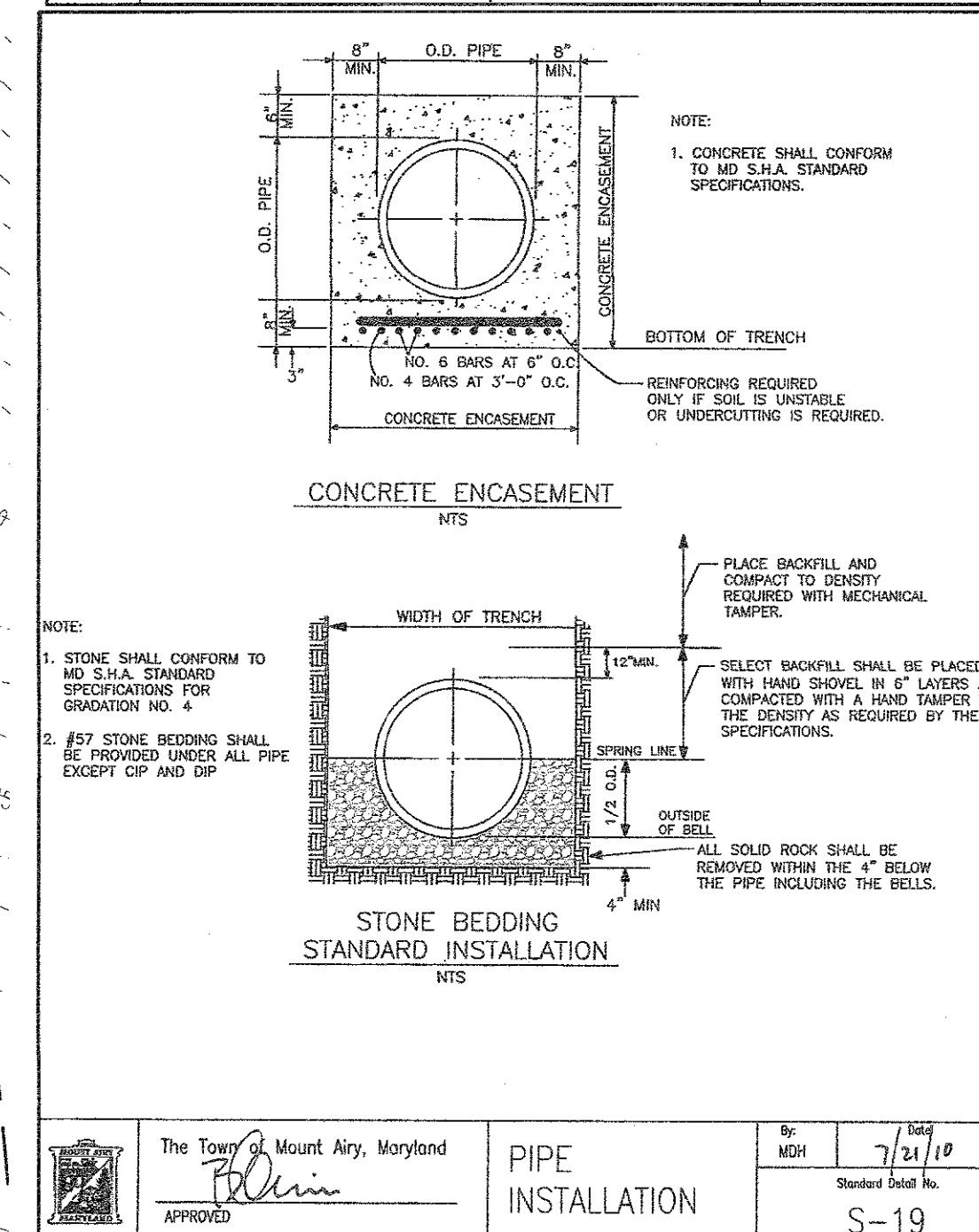
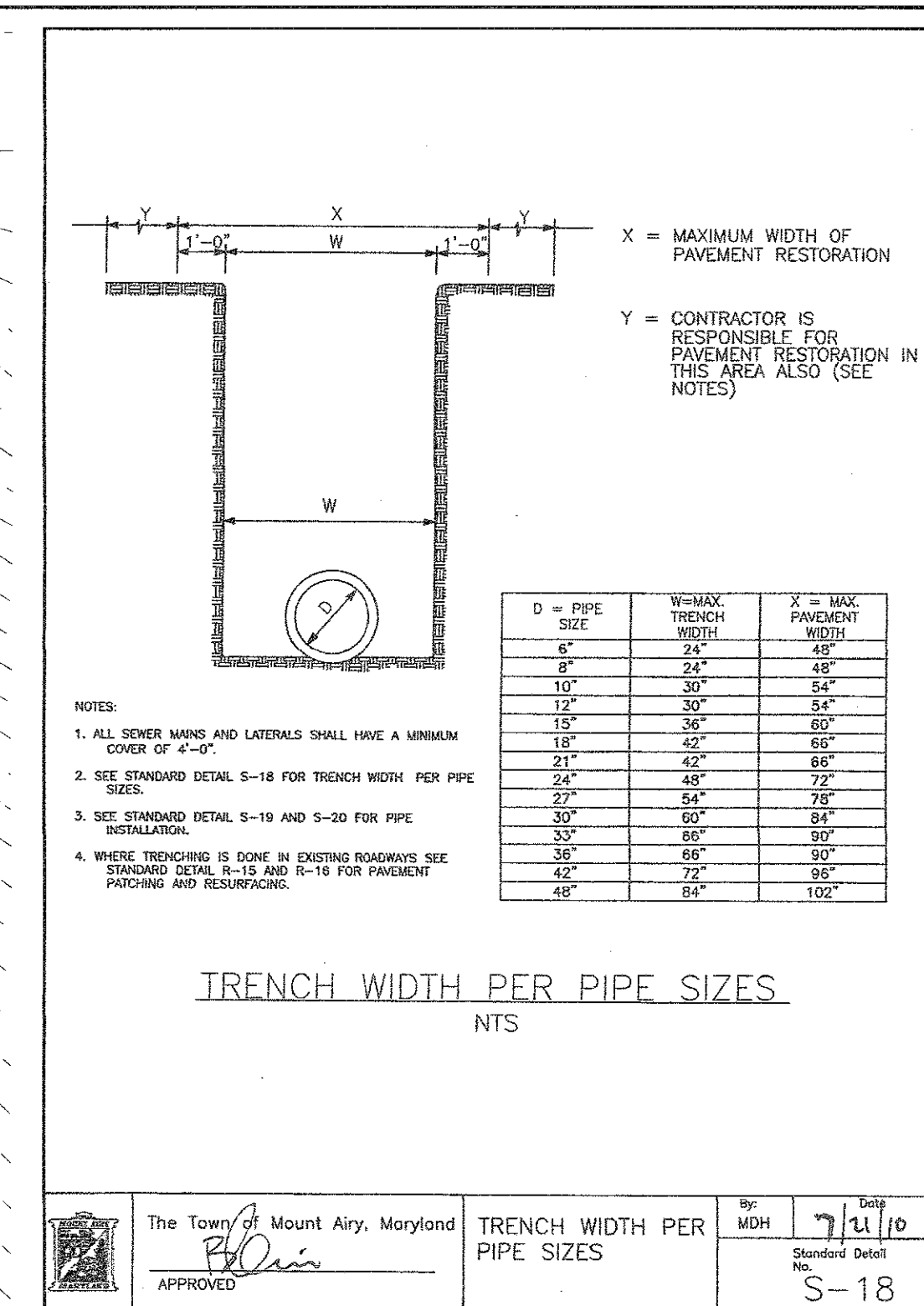
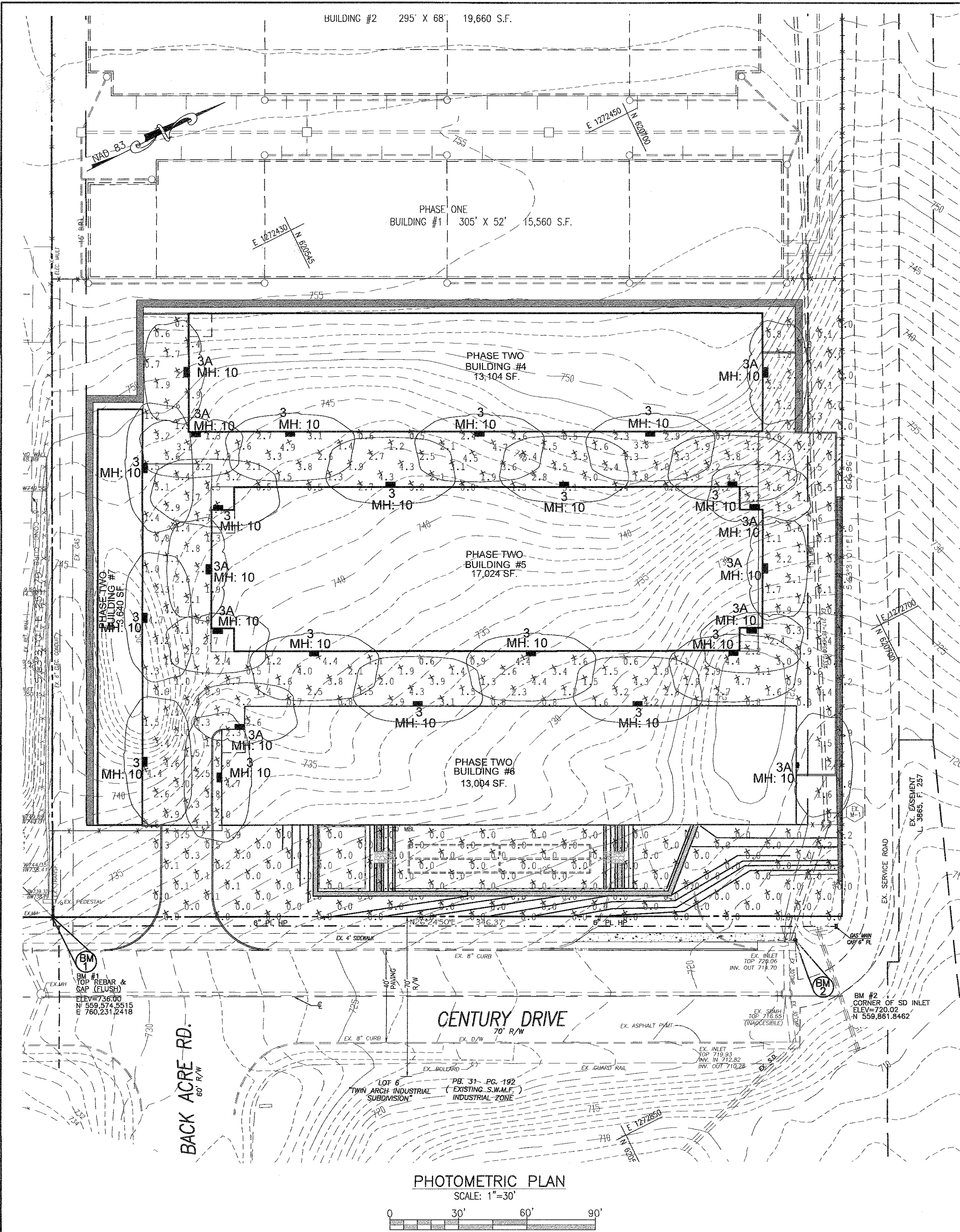
TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

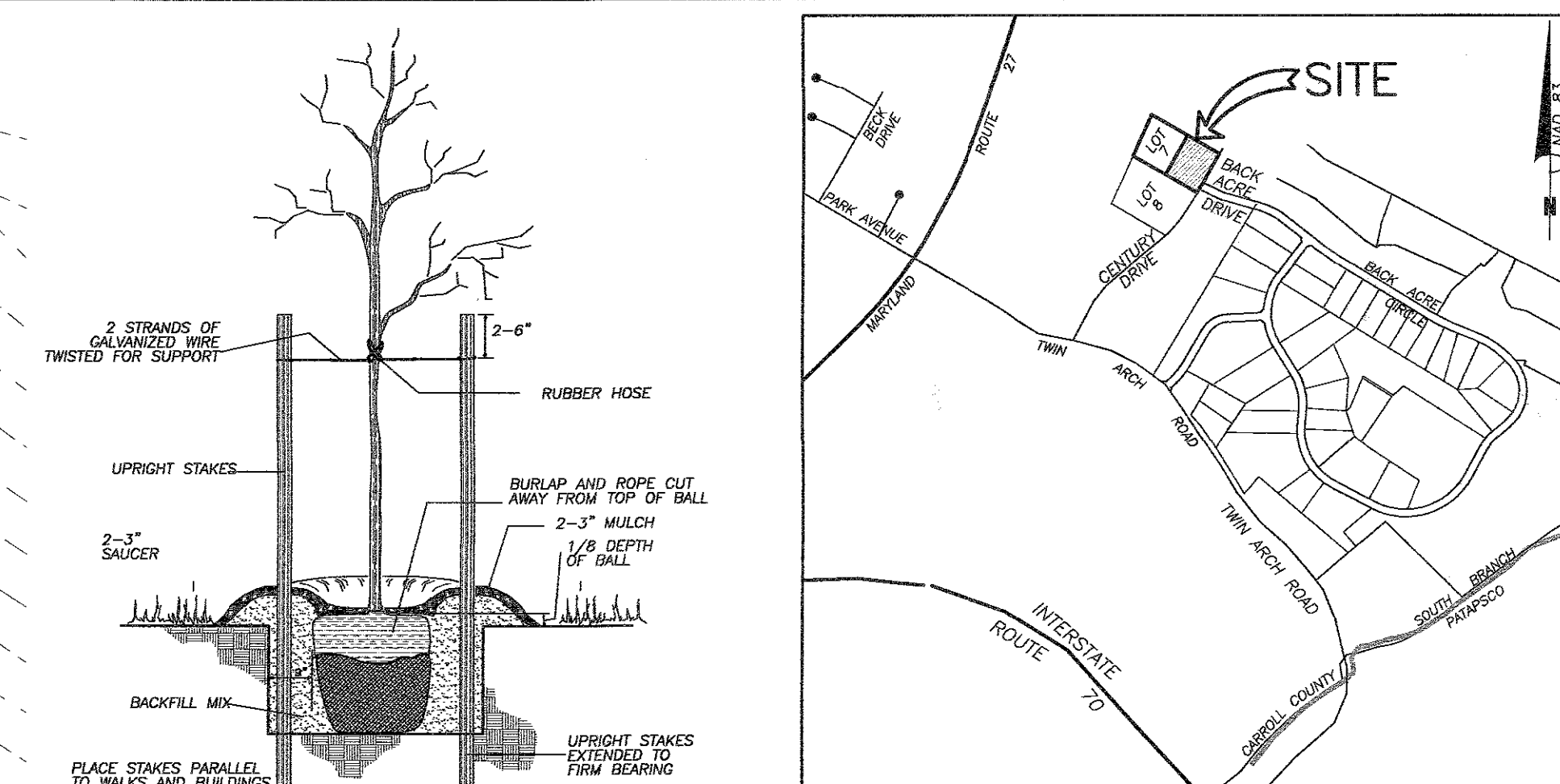
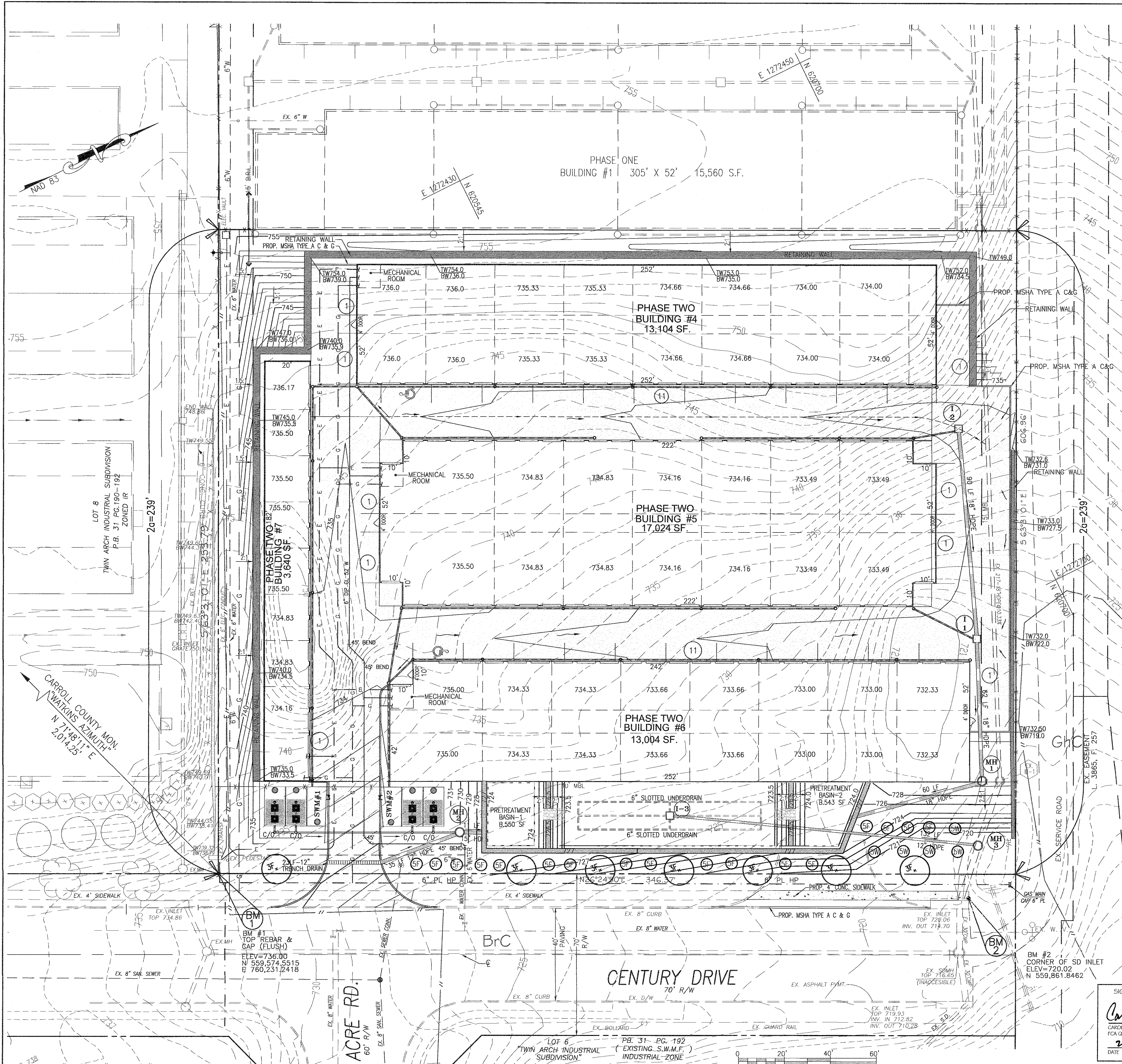
TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT NO. 13
CARROLL COUNTY, MARYLAND
SCALE: AUGUST 2021

VANMAR ASSOCIATES, INC.
Engineers, Planners, Surveyors
310 South Main Street, P.O. Box 528 Mount Airy, Maryland 21771
(301) 829 2890 (301) 831 5015 (410) 549 2751

SHEET 6 OF 9

VMA# 2274





TYPICAL UPRIGHT STAKING DETAIL (N.T.S.)

TYPICAL CONTAINER GROWN PLANTING DETAIL (N.T.S.)

LEGEND

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	PLANTS/PU	PU/PROVIDED	BOTANICAL / CULTIVAR NAME COMMON NAME	SIZE	COMMENTS
3F+	7	2	3.5 P.U.	prunusserotera thunderscloud purple leaf plum (pink)	6'-8" HT	B & B
5F	13	5	2.6 P.U.	Spiraea bumalda "Goldflame" Goldflame Spiraea (yellow/red)	15"-18" HT	3 gal container
SW	9	3	3 P.U.	salix integra "Hakuro-nishiki" Tri-Color Dappled Willow		3 gal container

TOTAL PLANTING UNITS: 9.1 PU PROVIDED

OWNER/DEVELOPER
REBCO DEVELOPMENT, LLC.
102 CENTURY DRIVE
MOUNT AIRY, MD 21771
(301) 829-9571

SIGNATURE AND SEAL OF QUALIFIED PREPARER
Caroline Lattimer
FCA QUALIFIED PROFESSIONAL
DATE 2/15/22

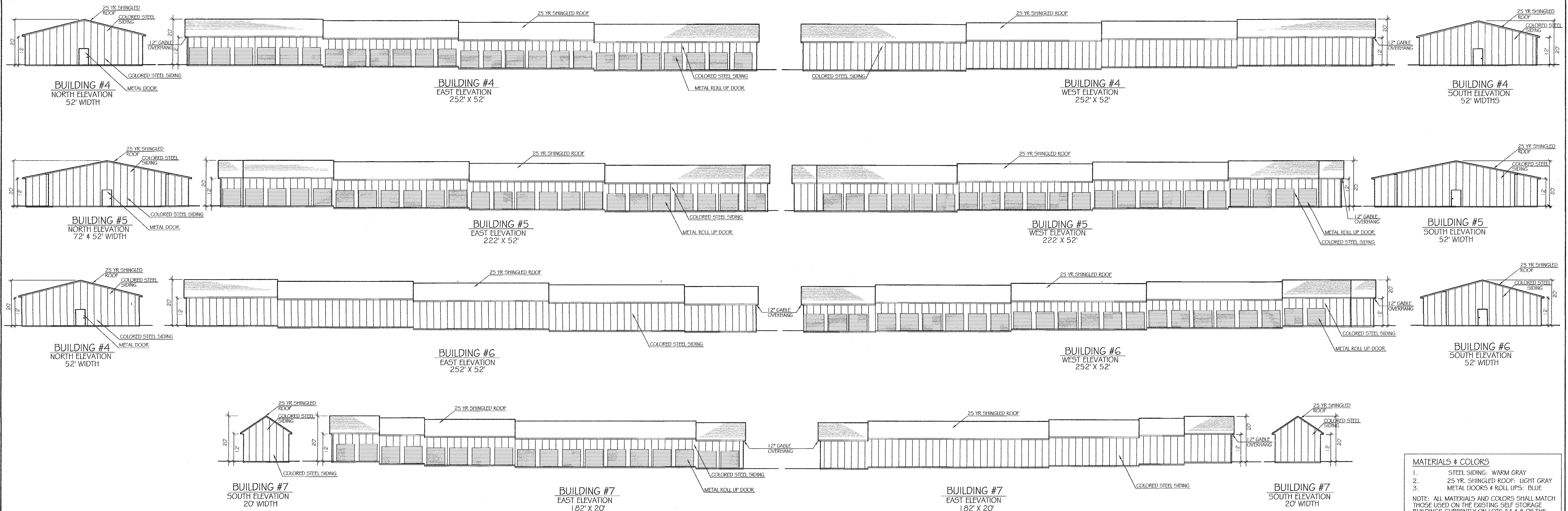
CARROLL COUNTY FILE # S-21-0015

LANDSCAPE PLAN
2ND AMENDED SITE DEVELOPMENT
PHASE 2 - TWIN ARCH SELF STORAGE
TWIN ARCH INDUSTRIAL SUBDIVISION - LOT 7

TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
MOUNT AIRY ELECTION DISTRICT NO. 13
CARROLL COUNTY, MARYLAND
SCALE: 1"=20' AUGUST 2021

VANMAR ASSOCIATES, INC.
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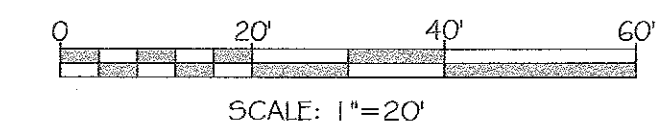
SHEET 8 OF 9



MATERIALS & COLORS	
1.	STEEL SIDING: WARM GRAY
2.	25 YR. SHINGLED ROOF: LIGHT GRAY
3.	METAL DOORS & ROLL UPS: BLUE

NOTE: ALL MATERIALS AND COLORS SHALL MATCH THOSE USED ON THE EXISTING SELF STORAGE BUILDINGS CURRENTLY ON LOTS 5A & 6 OF THE TWIN ARCH SELF STORAGE CENTER.

NOTE:
BUILDING ELEVATIONS ILLUSTRATE ARCHITECTURAL FEATURES AND ARE NOT CONSTRUCTION DRAWINGS. SEE DETAILED BUILDING DESIGN DOCUMENT FOR BUILDING CONSTRUCTION, ARCHITECTURAL DETAILS, DIMENSIONS AND SPECIFICATIONS.



CARROLL COUNTY FILE # S-21-0015

ARCHITECTURAL ELEVATIONS

2ND AMENDED SITE DEVELOPMENT

PHASE 2 – TWIN ARCH SELF STORAGE

TWIN ARCH INDUSTRIAL SUBDIVISION – LOT 7

TOWN OF MOUNT AIRY
SITUATED ON CENTURY DRIVE
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SHEET 9 OF 9

VMA# 2274